



**TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION**  
**DIVISION OF WATER RESOURCES**  
 William R. Snodgrass Tennessee Tower, 312 Rosa L. Parks Avenue, 11<sup>th</sup> Floor  
 Nashville, TN 37243  
 Toll Free Number: 1-888-891-8332 (TDEC)

**NOTICE OF INTENT (NOI) FOR GENERAL NPDES PERMIT FOR  
 STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES (TNR100000)**


<b>Site or Project Name:</b>		<b>NPDES Tracking Number: TNR</b>	
Street Address including city or zip code or Location:		Construction Start Date:	
Site Description:		Estimated End Date:	
County(ies):		Latitude (dd.dddd):	
MS4 Jurisdiction (if applicable):		Longitude (-dd.dddd):	
		Acres Disturbed:	
		Total Acres:	
Are there any streams <input type="checkbox"/> and/or wetlands <input type="checkbox"/> on or adjacent to the construction site? If wetlands are located on-site and may be impacted, attach wetlands delineation report. If an Aquatic Resource Alteration Permit has been obtained for this site, what is the permit number? ARAP Number:			
Receiving waters:			
Include the SWPPP with the NOI <input type="checkbox"/> SWPPP Included		Include a site location map <input type="checkbox"/> Map Included	

<b>Name of Site Owner or Developer (Site-Wide Permittee):</b> (correct legal name of person, company, or entity that has operational or design control over construction plans and specifications)			
For corporate entities only, provide the Tennessee Secretary of State (SOS) Control Number: 001020642			
Site Owner or Developer Contact Name: (individual responsible for site)		Title or Position: (the party who signs the certification below):	
Mailing Address:	City:	State:	Zip:
Phone:	E-mail:		

Optional Contact Name:		Title or Position:	
Mailing Address:	City:	State:	Zip:
Phone:	E-mail:		

**Owner or Developer Certification:** (must be signed by president, vice-president or equivalent, or ranking elected official) (Primary Permittee)

I certify under penalty of law that this document and all attachments were prepared by me, or under my direction or supervision. The submitted information is to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment. As specified in Tennessee Code Annotated Section 39-16-702(a)(4), this declaration is made under penalty of perjury.

Owner or Developer Name: (print or type):	Signature: 	Date:
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**Contractor(s) Certification:** (must be signed by president, vice-president or equivalent, or ranking elected official) (Secondary Permittee)

I certify under penalty of law that I have reviewed this document, any attachments, and the SWPPP referenced above. Based on my inquiry of the construction site owner/developer identified above and/or my inquiry of the person directly responsible for assembling this NOI and SWPPP, I believe the information submitted is accurate. I am aware that this NOI, if approved, makes the above-described construction activity subject to NPDES permit number TNR100000, and that certain of my activities on-site are thereby regulated. I am aware that there are significant penalties, including the possibility of fine and imprisonment for knowing violations, and for failure to comply with these permit requirements. As specified in Tennessee Code Annotated Section 39-16-702(a)(4), this declaration is made under penalty of perjury.

Primary contractor name, address, and SOS control number (if applicable): (print or type)	Signature:	Date:
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## **NOTICE OF INTENT (NOI) FOR GENERAL NPDES PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES (TNR100000)**

Purpose of this form - A completed notice of intent (NOI) must be submitted to obtain coverage under the Tennessee General NPDES Permit for Discharges of Stormwater Associated with Construction Activity (permit). **Requesting coverage under this permit means that an applicant has obtained and examined a copy of this permit, and thereby acknowledges applicant's claim of ability to be in compliance with permit terms and conditions.** This permit is required for stormwater discharge(s) from construction activities including clearing, grading, filling, and excavating (including borrow pits) of one or more acres of land. This form should be submitted at least 30 days prior to the commencement of land disturbing activities, or no later than 48 hours prior to when a new operator assumes operational control over site specifications or commences work at the site.

The appropriate permit application fee must accompany the NOI and is based on total acreage to be disturbed by an entire project, including any associated construction support activities (e.g., equipment staging yards, material storage areas, excavated material disposal areas, borrow or waste sites):

(i) Projects equal to or greater than 150 acres	\$10,000
(ii) Projects equal to or greater than 50 acres and less than 150 acres	\$6,000
(iii) Projects equal to or greater than 20 acres and less than 50 acres	\$3,000
(iv) Projects equal to or greater than 5 acres and less than 20 acres	\$1,000
(v) Projects equal to or greater than 1 acre and less than 5 acres	\$250
(vi) Projects seeking subsequent coverage under an actively covered larger common plan of development or sale	\$100

There is no fee for sites less than 1 acre. A separate annual maintenance fee is also required for construction activities that exceed 1 year under general permit coverage. Tennessee Rules, Chapter 0400-40-11-.02(b)(12)).

Who must submit the NOI form? Per Section 2 of the permit, all site operators must submit an NOI form. "Operator" for the purpose of this permit and in the context of stormwater associated with construction activity means any person associated with a construction project who meets either or both of the following two criteria: (1) The person has operational or design control over construction plans and specifications, including the ability to make modifications to those plans and specifications. This person is typically the owner or developer of the project or a portion of the project (e.g. subsequent builder), or the person that is the current landowner of the construction site. This person is considered the primary permittee; or (2) The person has day-to-day operational control of those activities at a project which are necessary to ensure compliance with a SWPPP for the site or other permit conditions. This person is typically a contractor or a commercial builder who is hired by the primary permittee and is considered a secondary permittee.

Owners, developers, and all contractors that meet the definition of the operator in subsection 2.2 of the permit shall apply for permit coverage on the same NOI, insofar as possible. After permit coverage has been granted to the primary permittee, any separate or subsequent NOI submittals must include the site's previously assigned permit tracking number and the project name. The site-wide site-specific SWPPP shall be prepared in accordance with the requirements of part 5 of the permit and must be submitted with the NOI unless the NOI being submitted is to only add a contractor (secondary permittee) to an existing coverage. Artificial entities (e.g., corporations or partnerships excluding entities not required to register) must submit the TN Secretary of State, Division of Business Services, control number. The Division reserves the right to deny coverage to artificial entities that are not properly registered and in good standing with the TN Secretary of State.

Notice of Coverage - The division will review the NOI for completeness and accuracy and prepare a notice of coverage (NOC). Stormwater discharge from the construction site is authorized as of the effective date of the NOC.

Complete the form - Type or print clearly, using ink and not markers or pencil. Answer each item or enter "NA," for not applicable, if a particular item does not fit the circumstances or characteristics of your construction site or activity. If you need additional space, attach a separate piece of paper to the NOI form. **The NOI will be considered incomplete without a permit fee, a map, and the SWPPP.**

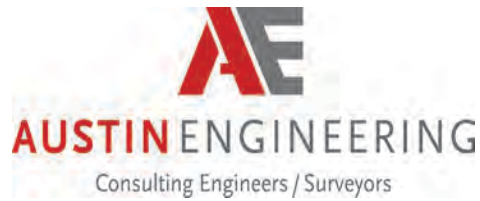
Describe and locate the project - Use the legal or official name of the construction site. If a construction site lacks street name or route number, give the most accurate geographic information available to describe the location (reference to adjacent highways, roads, and structures, e.g., intersection of state highways 70 and 100). Latitude and longitude (expressed in decimal degrees) of the center of the site can be located on USGS quadrangle maps. The maps can be obtained at the USGS World Wide Web site: <http://www.usgs.gov/>; latitude and longitude information can be found at numerous other web sites. Attach a copy of a portion of a 7.5-minute topographic map, a city map, or a county map showing location of site, with boundaries at least one mile outside the site boundaries. Provide estimated starting date of clearing activities and completion date of the project, and an estimate of the number of acres of the site on which soil will be disturbed, including borrow areas, fill areas, stockpiles and the total acres. For linear projects, give location at each end of the construction area.

Give name of the receiving waters - Trace the route of stormwater runoff from the construction site and determine the name of the river(s), stream(s), creek(s), wetland(s), lake(s) or any other water course(s) into which the stormwater runoff drains. Note that the receiving water course may or may not be located on the construction site. If the first water body receiving construction site runoff is unnamed ("unnamed tributary"), determine the name of the water body that the unnamed tributary enters.

**An ARAP may be required - If your work will disturb or cause alterations of a stream or wetland, you must obtain an appropriate Aquatic Resource Alteration Permit (ARAP).** If you have a question about the ARAP program, contact your local Environmental Field Office (EFO).

Submitting the form and obtaining more information - Note that this form must be signed by the company President, Vice-President, or a ranking elected official in the case of a municipality, for details see subpart 2.5. For more information, contact your local EFO at the toll-free number 1-888-891-8332 (TDEC). Submit the completed NOI form (keep a copy for your records) to the appropriate EFO for the county(ies) where the construction activity is located, addressed to **Attention: Stormwater NOI Processing** or use MyTDEC Forms for electronic submittal.

EFO	Street Address	Zip Code	EFO	Street Address	Zip Code
Memphis	8383 Wolf Lake Drive, Bartlett	38133-4119	Cookeville	1221 South Willow Ave.	38506
Jackson	1625 Hollywood Drive	38305-4316	Chattanooga	1301 Riverfront Parkway, Suite 206	37402-2013
Nashville	711 R S Gass Boulevard	37243	Knoxville	3711 Middlebrook Pike	37921
Columbia	1421 Hampshire Pike	38401	Johnson City	2305 Silverdale Road	37601



**NPDES STORM WATER POLLUTION  
PREVENTION PLAN (SWPPP)**

**AT**

**FAITH VIEW SUBDIVISION  
7038 OOLTEWAH-GEORGETOWN ROAD,  
OOLTEWAH, TN 37363**

**FOR**

**HALLIDAY INVESTMENT PROPERTIES, LLC  
OOLTEWAH, TN 37363**

**PREPARED BY:  
AUSTIN ENGINEERING  
JOHN D. MUHS, P.E.**

**JUNE 7, 2024**  
Revised 6-18-24



**STORM WATER POLLUTION PREVENTION PLAN (SWPPP)**  
**FAITH VIEW SUBDIVISION**  
**7038 OOLTEWAH-GEORGETOWN RD., OOLTEWAH, TN 37363**

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## **I. SITE DESCRIPTION**

### **a. Construction Activities**

This project consists of construction of a 43 single family lot subdivision at 7038 Ooltewah-Georgetown Rd., in Ooltewah, Tennessee. The construction will consist of clearing, building demolition, and gravel & asphalt removals followed by installation of diversions, silt fence, sediment tube, inlet/outlet protection, and other erosion prevention and control measures, site grading, utility service installations, storm sewers, curbs, and pavement construction, and seeding.

### **b. Site Conditions**

The project site's disturbed area is approximately 8.42 acres. The current site is comprised of an existing asphalt drive, buildings, grass, and trees. The site drains via overland flow, primarily from the southeast of the property to the northwest to an existing creek and pond to storm sewers at Ooltewah-Georgetown Rd., that eventually drain to Rogers Branch. The existing elevations on site range from 810 to 760.

The USDA soil map shows the site composed of:

- CaB Capshaw silt loam, 2 to 6 percent slopes
- CbC Colbert silt loam, 2 to 12 percent slopes
- uEoB Etowah silt loam, 2 to 6 percent slopes
- uEoC Etowah silt loam, 6 to 12 percent slopes

### **c. Post-Construction Conditions**

Upon completion the site will consist of 43 single family lots with asphalt roadways, curbs, storm sewers, and utilities.

## **II. DESCRIPTION OF STORM WATER RUNOFF CONTROLS**

The storm water runoff controls implemented on the site will consist of structural and non-structural practices intended to prevent sediment from entering the public drainage network through on-site inlets and to prevent sediment from leaving the site. It will be the responsibility of the Contractor, as the site operator, to install and maintain the specified controls until the construction is completed and they are released from any additional responsibilities by the owner and Hamilton County. If any storm water control measure reaches 50% of sediment capacity, sediment control measure shall be cleaned out and replaced, as necessary. The storm water controls specified in the project are described in further detail below.

a. Inlet Protection

Inlet protection shall consist of silt fence around the perimeter of the inlet, reinforced with aggregate fill on the outside of the silt fence. Inlet protection in paved areas shall be “Siltsack”, or approved equivalent, which is a permeable geotextile fabric mounted under the grate that allows water to pass but prevents silt and sediment from entering the drain system. Protection for inlets shall be installed immediately following completion of inlet construction. Inlet protection measures shall be inspected and repaired routinely as a part of the standard inspection process.

b. Construction Entrance/Exit

To minimize the sediment leaving the site due to the ingress and egress of construction traffic, the construction entrance/exit will be located at Ooltewah-Georgetown Rd., at the northwest corner of the property. The entrance/exit shall be constructed of washed and well-graded stone and will serve to remove dirt and sediment from vehicle tires prior to them exiting the site. If it is observed that the construction exits alone are insufficient to remove excess sediment from vehicle tires, the tires will be washed prior to the vehicle exiting the site.

c. Silt Fence

The silt fence used onsite will serve to filter water over longer overland drainage pathways and reduce the amount of sediment-laden runoff reaching inlets or continuing in sheet flow off site or entering wet weather conveyance and sediment basin. Due to the nature of the construction activities, some silt fence may have to be removed for periods of the construction. The silt fence should be replaced prior to anticipated storm events. Silt fence shall be inspected and repaired routinely as a part of the standard inspection process.

d. Sediment Waddle

Sediment waddle used onsite will serve to filter water and reduce velocity of flow in diversion swale drainage pathway. Sediment waddle shall be securely staked in place. Sediment waddle shall be inspected and repaired routinely as a part of the standard inspection process.

e. Outlet Protection

Riprap outlet protection will be placed at the end of culvert outfalls as shown on the plans and at the dimensions as detailed. Outlet protection will be constructed of river stone riprap. Outlet protection measures shall be inspected and repaired routinely as a part of the standard inspection process.



f. Erosion Control Blanket

Erosion control blanket (ECB) will be placed on all slopes steeper than 3:1 as soon as practical following final shaping and seeding. ECB stabilized slopes shall be inspected and repaired routinely as a part of the standard inspection process.

g. Sediment Basin

A sediment basin with wet and dry storage volume controlled by a perforated, outlet pipe and berm shall be constructed at the location and grade shown and as detailed on the plans to provide stormwater storage and treatment to prevent sediment from leaving the site. The temporary sediment basin shall be installed during Stage 1, immediately following the installation of perimeter controls and prior to site grading and other Stage 2 events. Sediment basin and outlet control shall be inspected and repaired routinely as a part of the standard inspection process.

### **III. EROSION PREVENTION AND SEDIMENT CONTROLS**

a. General Criteria and Requirements

The SWPPP is intended to detail the measures that are planned to minimize or eliminate the pollutant impacts from a 5-year, 24-hour storm event; totaling approximately 4.5 inches of rainfall. The Contractor will be solely responsible for the implementation and maintenance of the approved plan. Additionally, it is the Contractor's responsibility to assess developing conditions onsite that could contribute to storm water pollution and to implement any remedial measures necessary. The Contractor will continue to be responsible for these controls until both the Owner and Hamilton County relieve the Contractor, in writing, of any further responsibilities.

To minimize the potential impacts of construction on waterways, several conditions will be implemented. To minimize the overall exposure of denuded areas to storm water runoff, clearing operations will begin no more than 10 days prior to the start of grading activities. Construction activities shall be phased such that the final vegetative cover can be established at the earliest feasible time and shall be coordinated such that the vegetative cover is established during periods where vegetation can be effectively established. Water will be used to minimize dust emissions from the site.

Prior to rainfall events (as predicted by local weather forecasts); litter, debris, and fugitive sediment will be cleaned. Any exposed chemical storage containers shall be placed under protective cover and secured. All installed sediment controls should be examined and maintained as necessary to ensure effective operation during storm events. During prolonged periods of rainfall, daily inspections and

repairs will be performed. The Contractor/Operator will maintain a record of all inspections and repairs.

All soil and sediment will be stockpiled in a single location upstream of sediment controls and left in a non-compacted, positively drained state. Silt fencing will be placed and maintained at the base of all soil and sediment stockpiles. All soil and sediment stockpiles will be stabilized if they remain dormant for longer than 30 days.

The Contractor shall provide an onsite rain gage that shall be checked daily and any rainfall data recorded in a rain log. The rain log shall be kept current throughout the duration of the project and shall be kept with all inspection reports.

The following items shall always remain posted on-site: site contractor/owner, company name, email, address, phone number and emergency contact information.

b. Stabilization Practices

Within 14 days of the cessation of construction activities in any area of the site, temporary or permanent vegetative cover shall be established; weather and site conditions permitting. If construction activities are to be halted for a period greater than 14 days, temporary cover will be established over the denuded areas of the site.

Any slopes steeper than a 3:1 slope shall be stabilized if construction activities are halted for greater than 7 days.

c. Structural Practices

The structural practices specified in the construction plans are detailed in Section II of this SWPPP.

#### **IV. STORM WATER MANAGEMENT (POST-CONSTRUCTION ACTIVITIES)**

Post-construction storm water management will consist of proper maintenance of grassed and paved areas and a hydrodynamic separator. Any areas intended to remain as open ground shall be grassed and maintained to minimize erosion of soils into the drainage system. Storm water runoff from the site will drain to the existing storm sewer.

#### **V. OTHER ITEMS NEEDING CONTROL**

All measures implemented for storm water control have been described and no outstanding items warrant discussion.

Material management practices shall be used to reduce the risk of spills or other accidental exposure of materials and substance to storm water runoff.

1. Only enough products required for the job will be stored onsite.
2. All materials stored onsite will be in a neat and orderly manner in their appropriate containers, and if possible, under roof or other enclosure.
3. Products will be kept in their original containers with the original manufacture's labels.
4. Substances will not be mixed with one another unless recommended by the manufacturer.
5. All products will be used up before disposing of container whenever possible.
6. Manufacture's recommendations for proper use and disposal will be followed.
7. The site superintendent will inspect daily to ensure proper use and disposal practices are followed.

Contractor shall be familiar with what products are store and used on-site and shall appropriate measures on-site in the event of a spill.

1. Manufacture's recommended methods for spill cleanup will be clearly posted and site personnel will be made aware of the procedures and the location of the information and cleanup supplies.
2. Materials and equipment necessary for spill cleanup will be kept in the material storage area onsite.
3. All spills will be cleaned up immediate after discovery.
4. The spill area will be kept ventilated and personnel will wear appropriate protective clothing.
5. The spill prevent plan will be adjusted to include measures to prevent a particular type of spill from re-occurring. A description of each spill, the cause, and cleanup measures will be included.
6. The site superintendent, who is responsible for the day-to-day onsite construction operations, will be the spill prevention and cleanup coordinator and will assign other personnel, whose names will be posted in the onsite office trailer or other accessible place suitable for the purpose, to receive spill prevent and cleanup training.
7. If a release containing a hazardous substance in an amount equal to or in excess of reporting quantity established under either 40 CFR 117 or 40 CFR 302 occurs during a 23-hour period, the contractor will immediately notify the permittee who shall then do the following: notify the National Response Center (NRC) (800-424-8802 and the Tennessee Emergency Management Agency (TEMA) (emergencies: 800-262-3300; non-emergencies: 800-262-3400); as well as the local Environmental Assistance Center. Also, the SWPPP engineer will prepare a revision of this document to identify measures to prevent he reoccurrence of such releases.

## **VI. LOCAL GOVERNMENT SEDIMENT AND EROSION CONTROL REQUIREMENTS**

Hamilton County Stormwater Program will review the project documents for land disturbance permitting.

## **VII. MAINTENANCE**

All storm water pollution controls and measures implemented onsite shall be inspected on a regular basis (see Section VIII below) and maintained on an as-needed basis. Remedial measures may include (but are not limited to) replacing any control structures that have failed, removing dewatered sediment from around structures, re-seeding or sodding as necessary to replace vegetative cover in locations where cover was not successfully established.

All remedial measures shall occur before seven (7) calendar days or the next predicted storm event, whichever comes first.

Any off-site sediment accumulations shall be removed daily. Off-site accumulations deposited on private property shall be removed by methods agreed upon by the contractor and adjacent landowner(s). If sediment enters community water, Hamilton County – Development and Engineering Services Department Stormwater Division will be notified immediately and consulted with concerning removal of said sediment if required.

Removal of standing muddy water from the site shall be accomplished with a pump/filter bag combination or said water will be diverted into existing sediment control devices via a pump.

## **VIII. INSPECTIONS**

Inspections of the construction site and all installed storm water pollution controls shall be conducted at least twice per calendar week and following each rain event of one-half (1/2) inch or greater; except in cases where areas of the site are protected against sediment-containing runoff (established final ground cover or snow/ice cover). Inspections shall be performed by a qualified individual with experience/training in erosion and sediment control. All implemented storm water control measures are subject to inspection, including temporary measures installed for on-site material stockpiles.

After each inspection, an inspection report shall be generated documenting all control measures inspected and remedial actions needed. These reports shall be maintained by the Operator. The inspection reports shall be submitted monthly to the Hamilton County Stormwater Coordinator, no later than the tenth (10<sup>th</sup>) day of each month.

If the inspector finds that controls are properly installed and maintained properly, but provide inadequate protection, the project engineer shall modify the SWPPP within 7 days of identification and shall be implemented on site within 14 days.

The following records shall be maintained on or near the site:

- The date of when major grading activities occur;
- Dates when construction activities temporarily or permanently cease on a portion of the site;

- Dates when stabilization measures are initiated;
- Inspection reports;
- Rainfall reports.

All required records shall be retained by the permittee for a period of at least three (3) years from the date the Notice of Termination (NOT) is filed or as required by Hamilton County Stormwater Ordinance.

#### **IX. POLLUTION PREVENTION MEASURES FOR NON-STORM WATER DISCHARGES**

The only permissible non-storm water discharges are outlined in Section 1.2.3 of the general permit. Waters containing contaminants other than dust and soil will not be permitted to be discharged without separate treatment. All permitted non-storm water discharges must be routed through the on-site erosion and sediment controls.

#### **X. DOCUMENTATION OF PERMIT ELIGIBILITY RELATED TO TMDL**

The site drains via storm sewer to an Unnamed Tributary to Rogers Branch. According to the 2020 303(d) list available from the TN Department of Environment and Conservation, Rogers Branch is NOT SUPPORTING and impacted by the following attributed to municipal (urbanized high density areas):

- SANITARY SEWER OVERFLOWS (COLLECTION SYSTEM FAILURES)
- ESCHERICHIA COLI (E. COLI)

The planned construction activities are not expected to contribute to further degradation of the Rogers Branch. Siltation is not expected to be a major issue with the implementation and maintenance of proper sediment controls.

#### **XI. SITE ASSESSMENT**

Site assessment will be required for this project. Requirements set forth in section 3.1.2 of the General NPDES Permit for Discharges of Stormwater Associated with Construction Activities Document.

#### **XII. SEQUENCE OF EVENTS**

1. Install construction entrance and all perimeter controls and diversions to existing pond to be used as sediment basin as shown on Stage 1 of the erosion control plan.
2. Perform any clearing operations as shown on the erosion control plans. Install remainder of silt fence as shown.
3. Perform Stage 2 grading operation and storm sewers installation.

4. Complete slopes, seed, and cover with ECB matting as quickly as practical.
5. Complete final grading for home building pads.
6. Finalize underground utilities.
7. Maintain all erosion control measures.
8. Complete earthwork, and storm water management infrastructure.
9. Perform asphalt pavement construction including concrete curbs.
10. Perform seeding, fertilizing, and mulching for stabilization of pervious areas.
11. Erosion control measures shall remain in place until all construction is complete and final stabilization has been established.
12. Stage 3 shows an individual lot erosion protections and sediment control plan to be followed during home construction.
13. Remove all erosion control once final stabilization has been established.

**APPENDIX A**  
**NOTICE OF INTENT (NOI)**



**TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION**  
**DIVISION OF WATER RESOURCES**  
 William R. Snodgrass Tennessee Tower, 312 Rosa L. Parks Avenue, 11<sup>th</sup> Floor  
 Nashville, TN 37243  
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For corporate entities only, provide the Tennessee Secretary of State (SOS) Control Number: 001020642			
Site Owner or Developer Contact Name: (individual responsible for site)		Title or Position: (the party who signs the certification below):	
Mailing Address:	City:	State:	Zip:
Phone:	E-mail:		

Optional Contact Name:		Title or Position:	
Mailing Address:	City:	State:	Zip:
Phone:	E-mail:		



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I certify under penalty of law that this document and all attachments were prepared by me, or under my direction or supervision. The submitted information is to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment. As specified in Tennessee Code Annotated Section 39-16-702(a)(4), this declaration is made under penalty of perjury.

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STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES (TNR100000)**

Purpose of this form - A completed notice of intent (NOI) must be submitted to obtain coverage under the Tennessee General NPDES Permit for Discharges of Stormwater Associated with Construction Activity (permit). **Requesting coverage under this permit means that an applicant has obtained and examined a copy of this permit, and thereby acknowledges applicant's claim of ability to be in compliance with permit terms and conditions.** This permit is required for stormwater discharge(s) from construction activities including clearing, grading, filling, and excavating (including borrow pits) of one or more acres of land. This form should be submitted at least 30 days prior to the commencement of land disturbing activities, or no later than 48 hours prior to when a new operator assumes operational control over site specifications or commences work at the site.

The appropriate permit application fee must accompany the NOI and is based on total acreage to be disturbed by an entire project, including any associated construction support activities (e.g., equipment staging yards, material storage areas, excavated material disposal areas, borrow or waste sites):

(i) Projects equal to or greater than 150 acres	\$10,000
(ii) Projects equal to or greater than 50 acres and less than 150 acres	\$6,000
(iii) Projects equal to or greater than 20 acres and less than 50 acres	\$3,000
(iv) Projects equal to or greater than 5 acres and less than 20 acres	\$1,000
(v) Projects equal to or greater than 1 acre and less than 5 acres	\$250
(vi) Projects seeking subsequent coverage under an actively covered larger common plan of development or sale	\$100

There is no fee for sites less than 1 acre. A separate annual maintenance fee is also required for construction activities that exceed 1 year under general permit coverage. Tennessee Rules, Chapter 0400-40-11-.02(b)(12)).

Who must submit the NOI form? Per Section 2 of the permit, all site operators must submit an NOI form. "Operator" for the purpose of this permit and in the context of stormwater associated with construction activity means any person associated with a construction project who meets either or both of the following two criteria: (1) The person has operational or design control over construction plans and specifications, including the ability to make modifications to those plans and specifications. This person is typically the owner or developer of the project or a portion of the project (e.g. subsequent builder), or the person that is the current landowner of the construction site. This person is considered the primary permittee; or (2) The person has day-to-day operational control of those activities at a project which are necessary to ensure compliance with a SWPPP for the site or other permit conditions. This person is typically a contractor or a commercial builder who is hired by the primary permittee and is considered a secondary permittee.

Owners, developers, and all contractors that meet the definition of the operator in subsection 2.2 of the permit shall apply for permit coverage on the same NOI, insofar as possible. After permit coverage has been granted to the primary permittee, any separate or subsequent NOI submittals must include the site's previously assigned permit tracking number and the project name. The site-wide site-specific SWPPP shall be prepared in accordance with the requirements of part 5 of the permit and must be submitted with the NOI unless the NOI being submitted is to only add a contractor (secondary permittee) to an existing coverage. Artificial entities (e.g., corporations or partnerships excluding entities not required to register) must submit the TN Secretary of State, Division of Business Services, control number. The Division reserves the right to deny coverage to artificial entities that are not properly registered and in good standing with the TN Secretary of State.

Notice of Coverage - The division will review the NOI for completeness and accuracy and prepare a notice of coverage (NOC). Stormwater discharge from the construction site is authorized as of the effective date of the NOC.

Complete the form - Type or print clearly, using ink and not markers or pencil. Answer each item or enter "NA," for not applicable, if a particular item does not fit the circumstances or characteristics of your construction site or activity. If you need additional space, attach a separate piece of paper to the NOI form. **The NOI will be considered incomplete without a permit fee, a map, and the SWPPP.**

Describe and locate the project - Use the legal or official name of the construction site. If a construction site lacks street name or route number, give the most accurate geographic information available to describe the location (reference to adjacent highways, roads, and structures, e.g., intersection of state highways 70 and 100). Latitude and longitude (expressed in decimal degrees) of the center of the site can be located on USGS quadrangle maps. The maps can be obtained at the USGS World Wide Web site: <http://www.usgs.gov/>; latitude and longitude information can be found at numerous other web sites. Attach a copy of a portion of a 7.5-minute topographic map, a city map, or a county map showing location of site, with boundaries at least one mile outside the site boundaries. Provide estimated starting date of clearing activities and completion date of the project, and an estimate of the number of acres of the site on which soil will be disturbed, including borrow areas, fill areas, stockpiles and the total acres. For linear projects, give location at each end of the construction area.

Give name of the receiving waters - Trace the route of stormwater runoff from the construction site and determine the name of the river(s), stream(s), creek(s), wetland(s), lake(s) or any other water course(s) into which the stormwater runoff drains. Note that the receiving water course may or may not be located on the construction site. If the first water body receiving construction site runoff is unnamed ("unnamed tributary"), determine the name of the water body that the unnamed tributary enters.

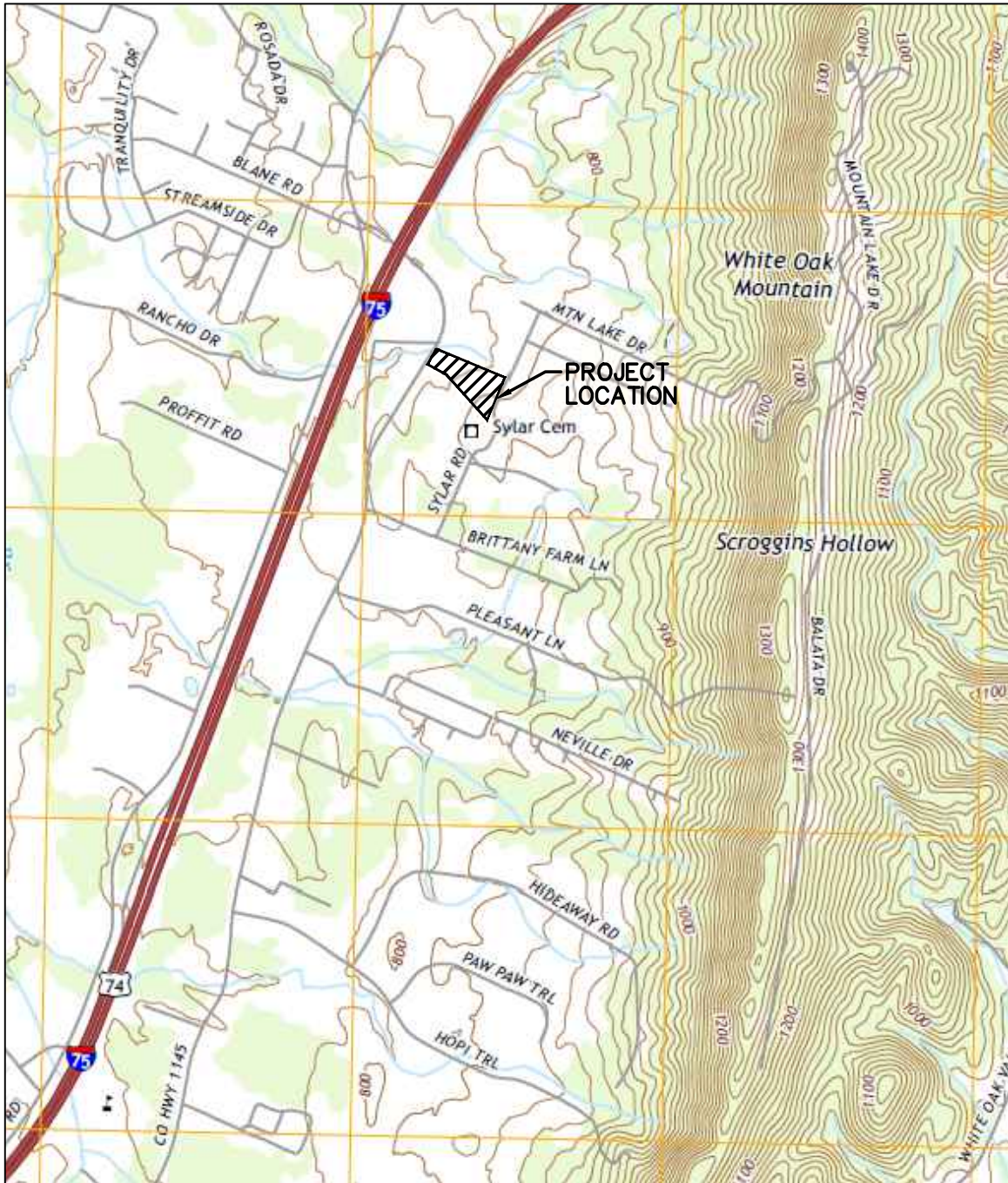
**An ARAP may be required - If your work will disturb or cause alterations of a stream or wetland, you must obtain an appropriate Aquatic Resource Alteration Permit (ARAP).** If you have a question about the ARAP program, contact your local Environmental Field Office (EFO).

Submitting the form and obtaining more information - Note that this form must be signed by the company President, Vice-President, or a ranking elected official in the case of a municipality, for details see subpart 2.5. For more information, contact your local EFO at the toll-free number 1-888-891-8332 (TDEC). Submit the completed NOI form (keep a copy for your records) to the appropriate EFO for the county(ies) where the construction activity is located, addressed to **Attention: Stormwater NOI Processing** or use MyTDEC Forms for electronic submittal.

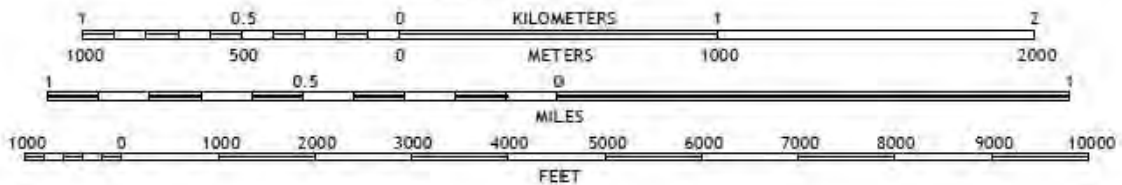
EFO	Street Address	Zip Code	EFO	Street Address	Zip Code
Memphis	8383 Wolf Lake Drive, Bartlett	38133-4119	Cookeville	1221 South Willow Ave.	38506
Jackson	1625 Hollywood Drive	38305-4316	Chattanooga	1301 Riverfront Parkway, Suite 206	37402-2013
Nashville	711 R S Gass Boulevard	37243	Knoxville	3711 Middlebrook Pike	37921
Columbia	1421 Hampshire Pike	38401	Johnson City	2305 Silverdale Road	37601

# USGS LOCATION MAP

FAITH VIEW SUBDIVISION  
7038 OOLTEWAH-GEORGETOWN RD.  
OOLTEWAH, TN 37363



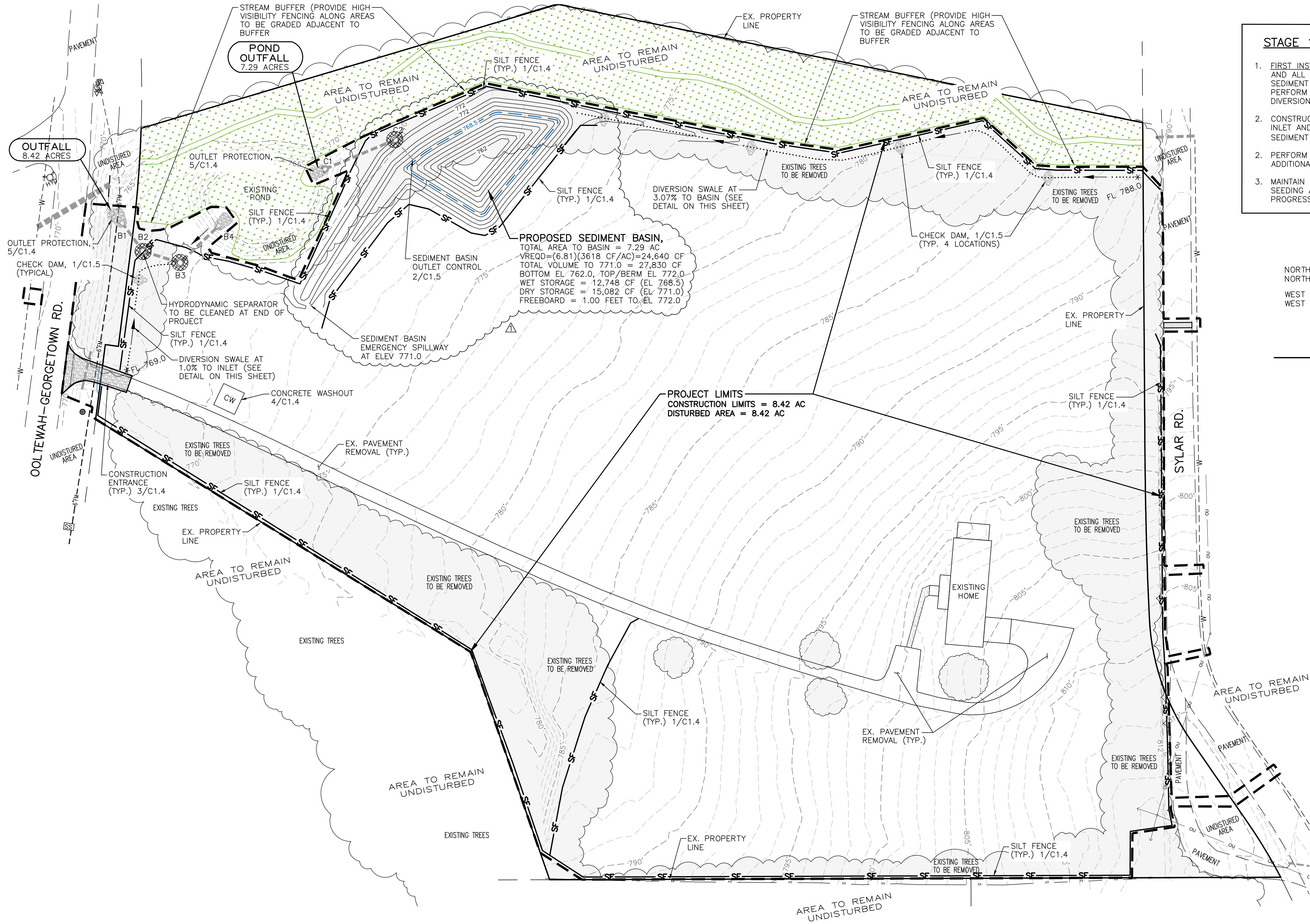
SCALE 1:24 000



CONTOUR INTERVAL 20 FEET  
NORTH AMERICAN VERTICAL DATUM OF 1988

**APPENDIX B**  
**EROSION CONTROL PLANS AND DETAILS**

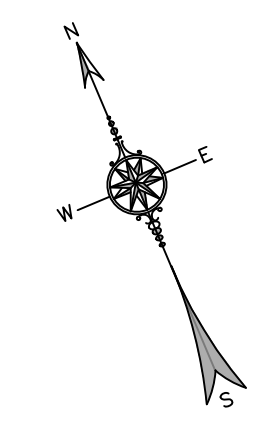
**OUTFALL NOTE:**  
POND OUTFALL DRAINS TO WEST OUTFALL



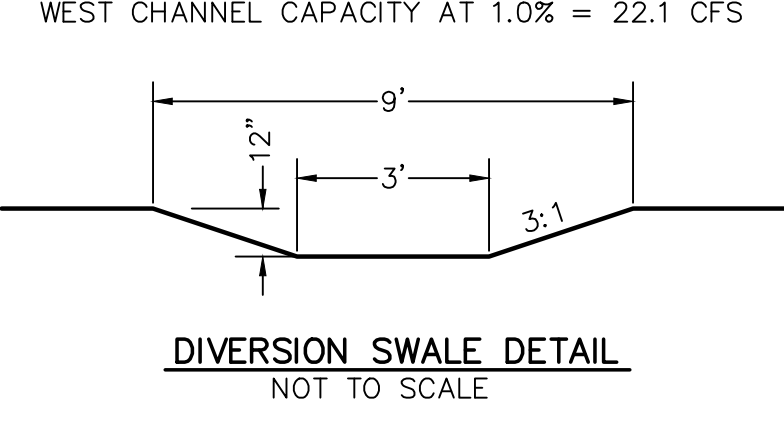
- STAGE 1 SEQUENCE OF EVENTS**
1. **FIRST INSTALLATION:** INSTALL CONSTRUCTION ENTRANCE AND ALL PERIMETER CONTROLS AS SHOWN. GRADE SEDIMENT BASIN AND DIVERSIONS WITH CHECK DAMS. PERFORM CLEARING AS NECESSARY FOR BASIN AND DIVERSIONS.
  2. **CONSTRUCT STORM SEWERS B1-B2-B3-B4 & C1-C2 WITH INLET AND OUTLET PROTECTION AND PROVIDE TEMPORARY SEDIMENT BASIN OUTLET, SEE DETAIL 2/C1.5.**
  2. **PERFORM REMAINING REMOVAL OPERATION. INSTALL ADDITIONAL SILT FENCE WHERE POSSIBLE.**
  3. **MAINTAIN PERIMETER CONTROLS AND PROVIDE TEMPORARY SEEDING AT 14 DAY INTERVALS AS CONSTRUCTION PROGRESSES.**

**ABBREVIATIONS**

FM	EXISTING FORCE MAIN
W	EXISTING WATER
OU	EX. OVERHEAD UTILITY



NORTH 25 YEAR PEAK DESIGN FLOW = 22.4 CFS  
NORTH CHANNEL CAPACITY AT 3.0% = 38.3 CFS  
WEST 25 YEAR PEAK DESIGN FLOW = 16.3 CFS  
WEST CHANNEL CAPACITY AT 1.0% = 22.1 CFS



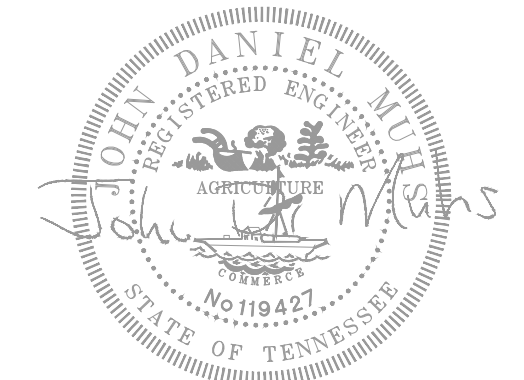
**FAITH VIEW SUBDIVISION**  
7038 OOLTEWAH GEORGETOWN ROAD,  
OOLTEWAH, TN 37363  
PARCEL NO. 114-062.01

OWNER:  
HALLIDAY INVESTMENT PROPERTIES, LLC  
8007 HAMPTON COVE DRIVE  
OOLTEWAH, TN 37363

REVISED:  
6-18-24 TDEC EPSC COMMENTS

**EROSION CONTROL PLAN STAGE 1**

PROJECT NO: TN70-23-032  
DATE: 06-7-24  
SURVEYED: TR DESIGNED: JDM  
DRAWN: JSD APPROVED: JDM



6-7-24

C1.1



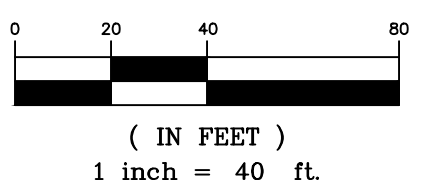
AUSTIN ENGINEERING CO., INC.  
 Consulting Engineers / Surveyors  
 311 SW Water St., Suite 215  
 Peoria, Illinois 61602  
 License No. 184-001143

**ABBREVIATIONS**

FM	EXISTING FORCE MAIN
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**GRAPHIC SCALE**



**FAITH VIEW SUBDIVISION**

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 OOLTEWAH, TN 37363  
 PARCEL NO. 114-062.01

OWNER:  
 HALLIDAY INVESTMENT PROPERTIES, LLC  
 8007 HAMPTON COVE DRIVE  
 OOLTEWAH, TN 37363

REVISED:  
 6-18-24 TDEC EPSC COMMENTS

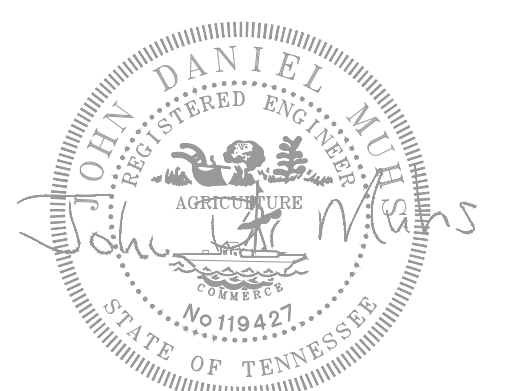
**EROSION CONTROL PLAN STAGE 2**

PROJECT NO: TN70-23-032

DATE: 06-7-24

SURVEYED: TR DESIGNED: JDM

DRAWN: JSD APPROVED: JDM



6-7-24

C1.2



- STAGE 2 SEQUENCE OF EVENTS**
1. MAINTAIN EROSION CONTROL MEASURES FROM STAGE 1.
  2. PERFORM GRADING OPERATIONS. PLACE GRAVEL BASE ON ROADWAY AS SOON AS POSSIBLE AS AN EROSION PROTECTION SAFEGUARD.
  3. INSTALL EROSION CONTROL BLANKET (ECB) ALONG WITH SEEDING AS SOON AS PRACTICAL ALONG STEEPLY SLOPED AREAS AS CONSTRUCTION PROGRESSES TO MINIMIZE EROSION ALONG THESE CRITICAL AREAS. (SEE LANDSCAPING PLANS)
  4. BEGIN ROADWAY CONSTRUCTION INCLUDING STORM SEWER AND ALL UTILITIES.
  5. MAINTAIN SEDIMENT BASIN AND PERIMETER CONTROLS AND PROVIDE TEMPORARY SEEDING AT 14 DAY INTERVALS AS CONSTRUCTION PROGRESSES.

**PROPOSED SEDIMENT BASIN**  
 TOTAL AREA TO BASIN = 7.29 AC  
 $VREQD = (6.81)(3618 \text{ CF/AC}) = 24,640 \text{ CF}$   
 TOTAL VOLUME TO 771.0 = 27,830 CF  
 BOTTOM EL 762.0, TOP/BERM EL 772.0  
 WET STORAGE = 12,748 CF (EL 768.5)  
 DRY STORAGE = 15,082 CF (EL 771.0)  
 FREEBOARD = 1.00 FEET TO EL 772.0

**OUTFALL NOTE:**  
 POND OUTFALL DRAINS TO WEST OUTFALL

**PROJECT LIMITS**  
 CONSTRUCTION LIMITS = 8.42 AC  
 DISTURBED AREA = 8.42 AC



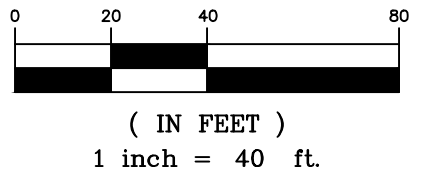
AUSTIN ENGINEERING CO., INC.  
 Consulting Engineers / Surveyors  
 311 SW Water St., Suite 215  
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**ABBREVIATIONS**

FM EXISTING FORCE MAIN  
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 OU EX. OVERHEAD UTILITY



**GRAPHIC SCALE**



**FAITH VIEW SUBDIVISION**

7038 OOLTEWAH GEORGETOWN ROAD,  
 OOLTEWAH, TN 37363  
 PARCEL NO. 114-062.01

OWNER:  
 HALLIDAY INVESTMENT PROPERTIES, LLC  
 8007 HAMPTON COVE DRIVE  
 OOLTEWAH, TN 37363

REVISED:

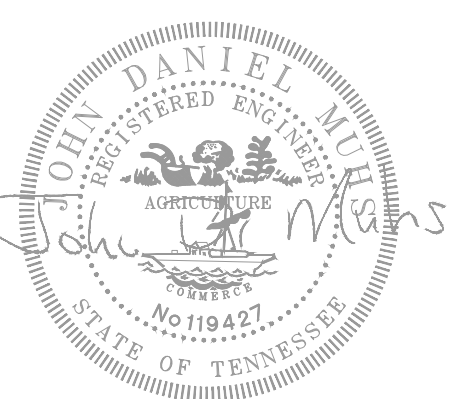
**EROSION CONTROL PLAN STAGE 3**

PROJECT NO: TN70-23-032

DATE: 06-7-24

SURVEYED: TR DESIGNED: JDM

DRAWN: JSD APPROVED: JDM

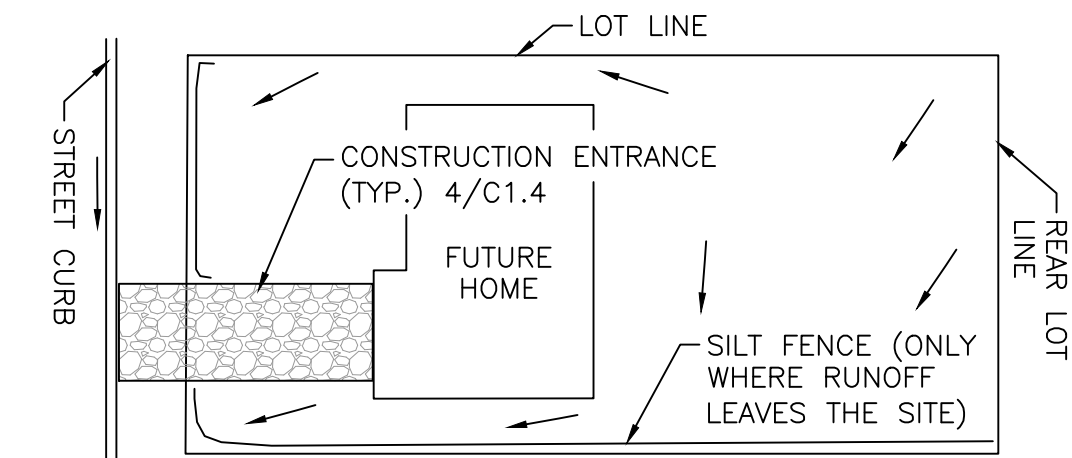


6-7-24

C1.3

**STAGE 3A SEQUENCE OF EVENTS**

1. **FIRST INSTALLATION:** INSTALL CONSTRUCTION ENTRANCE AND PERIMETER CONTROLS ON AN INDIVIDUAL LOT BASIS AS HOMES OR MULTIPLE HOMES ARE CONSTRUCTED.
2. PRELIMINARY GRADE FOR HOME FOUNDATIONS.
3. MAINTAIN PERIMETER CONTROLS AND PROVIDE TEMPORARY SEEDING AT 14 DAY INTERVALS AS HOME CONSTRUCTION PROGRESSES.

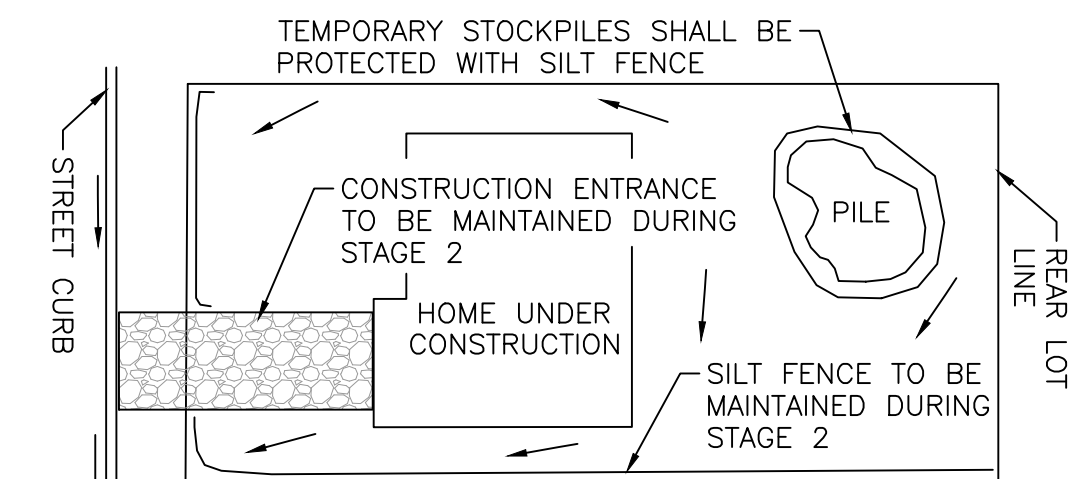


ANY SEDIMENT DEPOSITED OFFSITE OR IN THE STREET SHALL BE REMOVED WITHIN 24 HOURS.  
 CONSTRUCTION ENTRANCE AND PERIMETER CONTROLS SHALL BE INSTALLED BEFORE DISTURBING ANY SOIL.

**INDIVIDUAL LOT STAGE 3A DETAIL**  
 NOT TO SCALE

**STAGE 3B SEQUENCE OF EVENTS**

1. MAINTAIN ALL MEASURES FROM STAGE 3A.
2. COMPLETE ALL EARTHWORK, FOUNDATION WORK, AND UNDERGROUND UTILITIES.
3. PERFORM HOME CONSTRUCTION AND PAVING OPERATIONS.
4. PROVIDE TEMPORARY SEEDING AT 14 DAY INTERVALS AS CONSTRUCTION PROGRESSES.

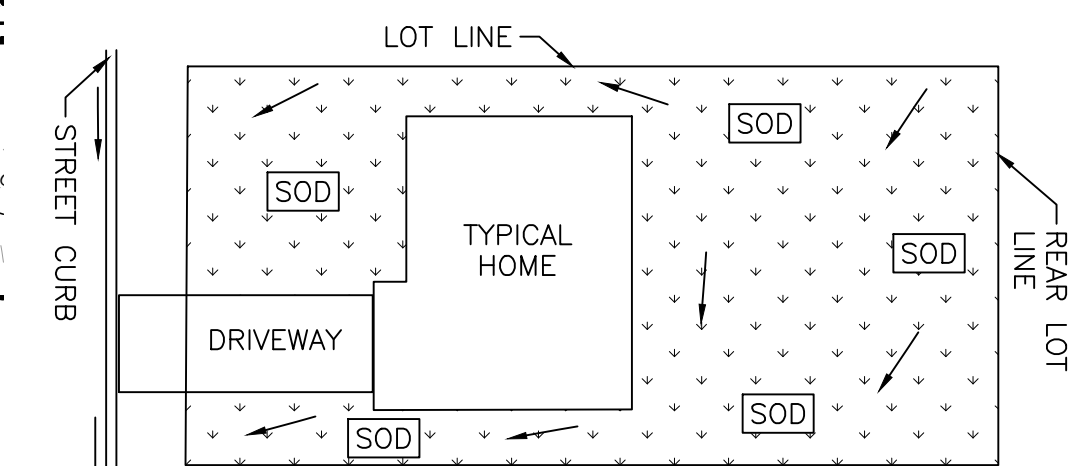


ANY SEDIMENT DEPOSITED OFFSITE OR IN THE STREET SHALL BE REMOVED WITHIN 24 HOURS.

**INDIVIDUAL LOT STAGE 3B DETAIL**  
 NOT TO SCALE

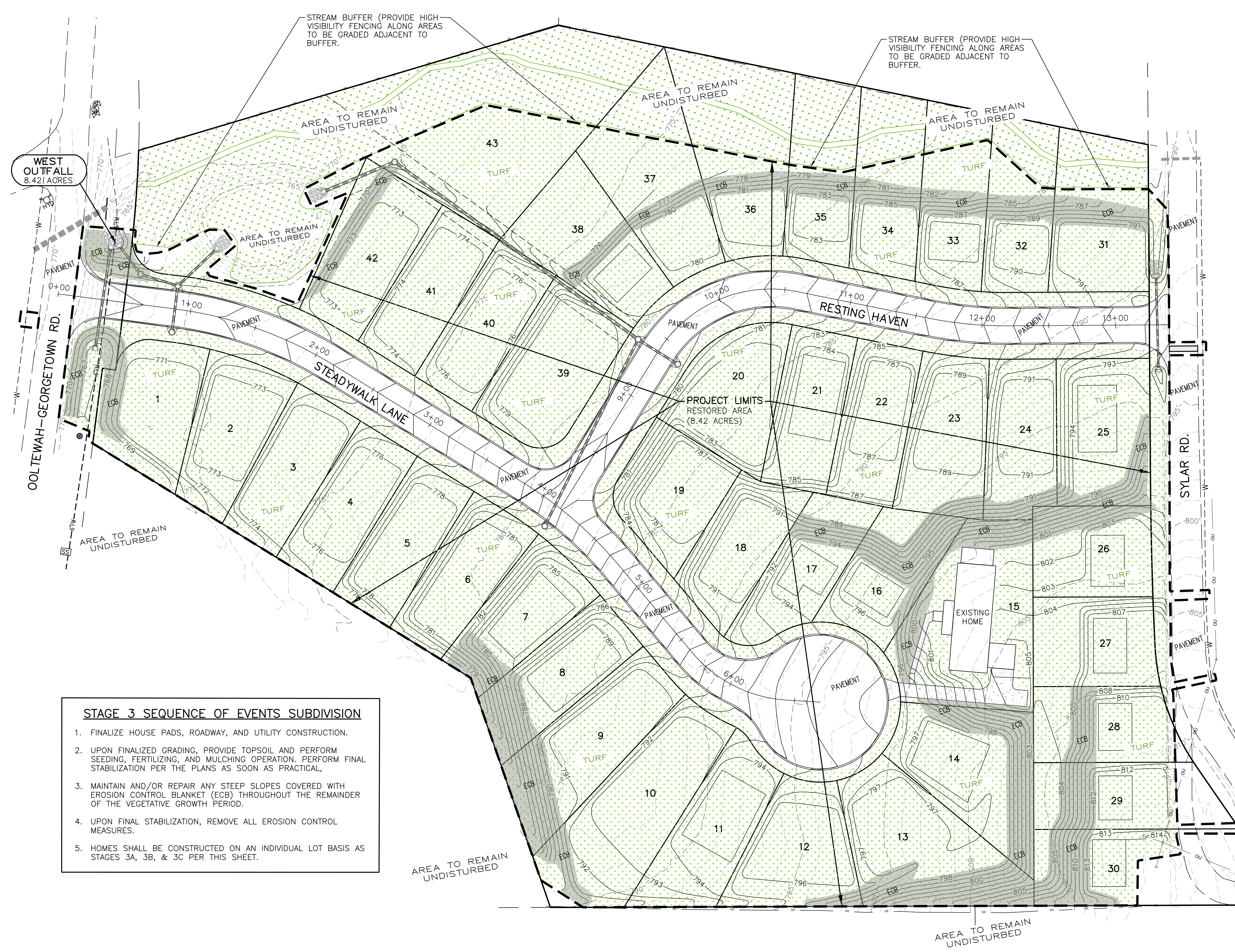
**STAGE 3C SEQUENCE OF EVENTS**

1. FINE GRADE AND STABILIZE ALL DISTURBED AREAS WITH SEEDING OR SOD.
2. UPON STABILIZATION, REMOVE ALL EROSION CONTROL MEASURES.



EROSION CONTROLS SHALL REMAIN UNTIL GROUND COVER FILL-IN HAS REACHED 75%.

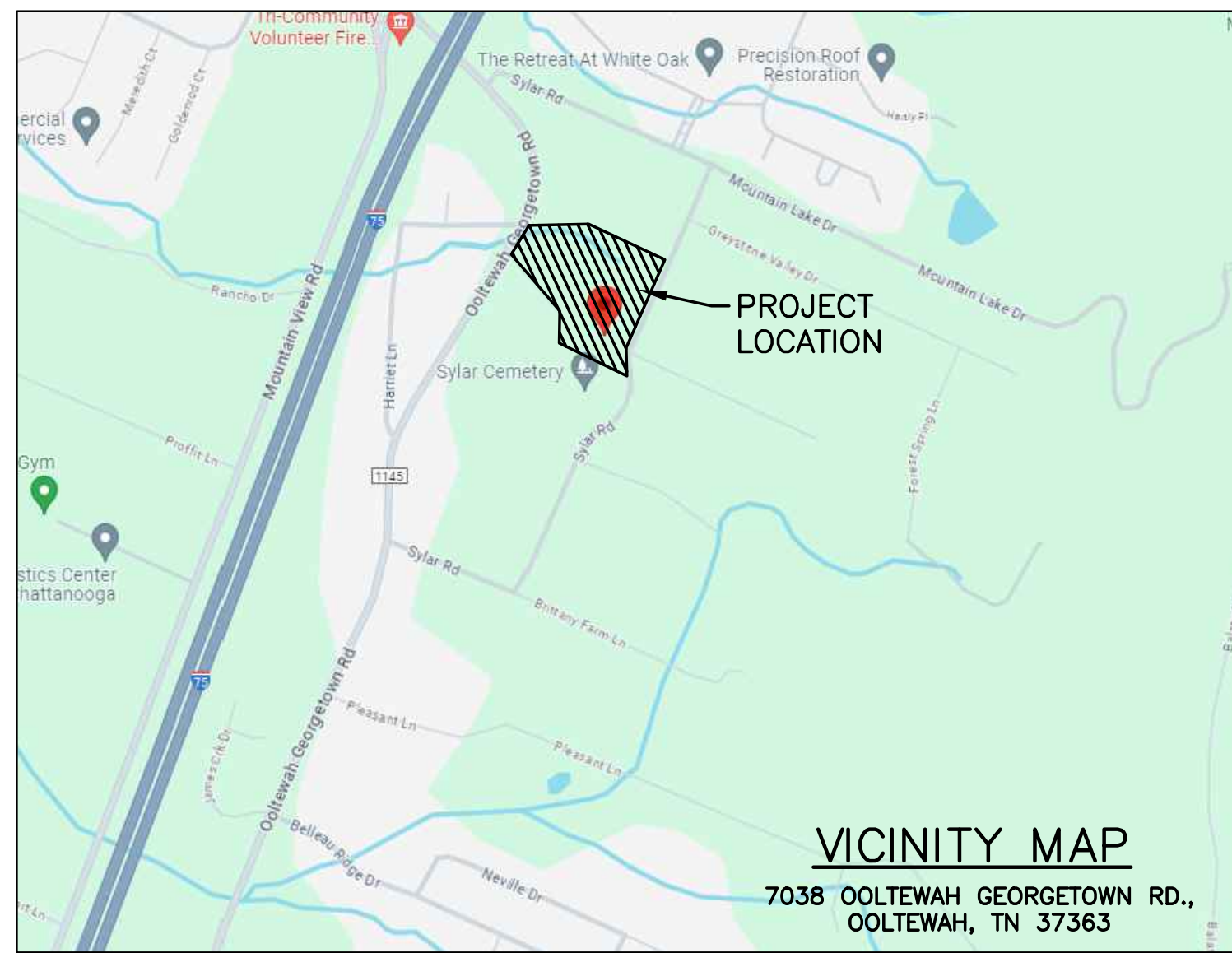
**INDIVIDUAL LOT STAGE 3C DETAIL**  
 NOT TO SCALE



**STAGE 3 SEQUENCE OF EVENTS SUBDIVISION**

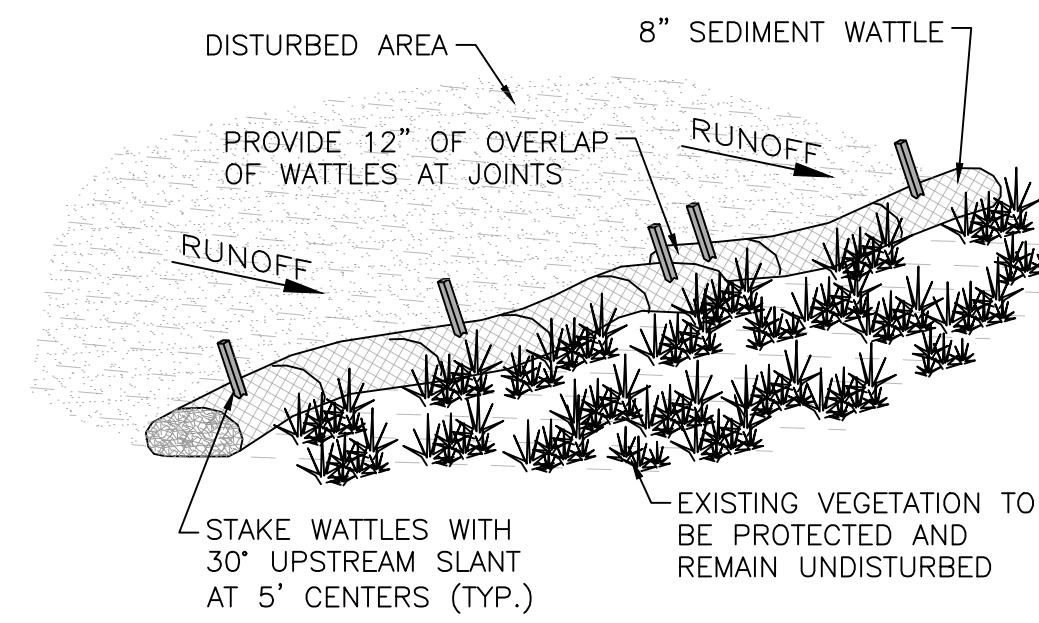
1. FINALIZE HOUSE PADS, ROADWAY, AND UTILITY CONSTRUCTION.
2. UPON FINALIZED GRADING, PROVIDE TOPSOIL AND PERFORM SEEDING, FERTILIZING, AND MULCHING OPERATION. PERFORM FINAL STABILIZATION PER THE PLANS AS SOON AS PRACTICAL.
3. MAINTAIN AND/OR REPAIR ANY STEEP SLOPES COVERED WITH EROSION CONTROL BLANKET (ECB) THROUGHOUT THE REMAINDER OF THE VEGETATIVE GROWTH PERIOD.
4. UPON FINAL STABILIZATION, REMOVE ALL EROSION CONTROL MEASURES.
5. HOMES SHALL BE CONSTRUCTED ON AN INDIVIDUAL LOT BASIS AS STAGES 3A, 3B, & 3C PER THIS SHEET.



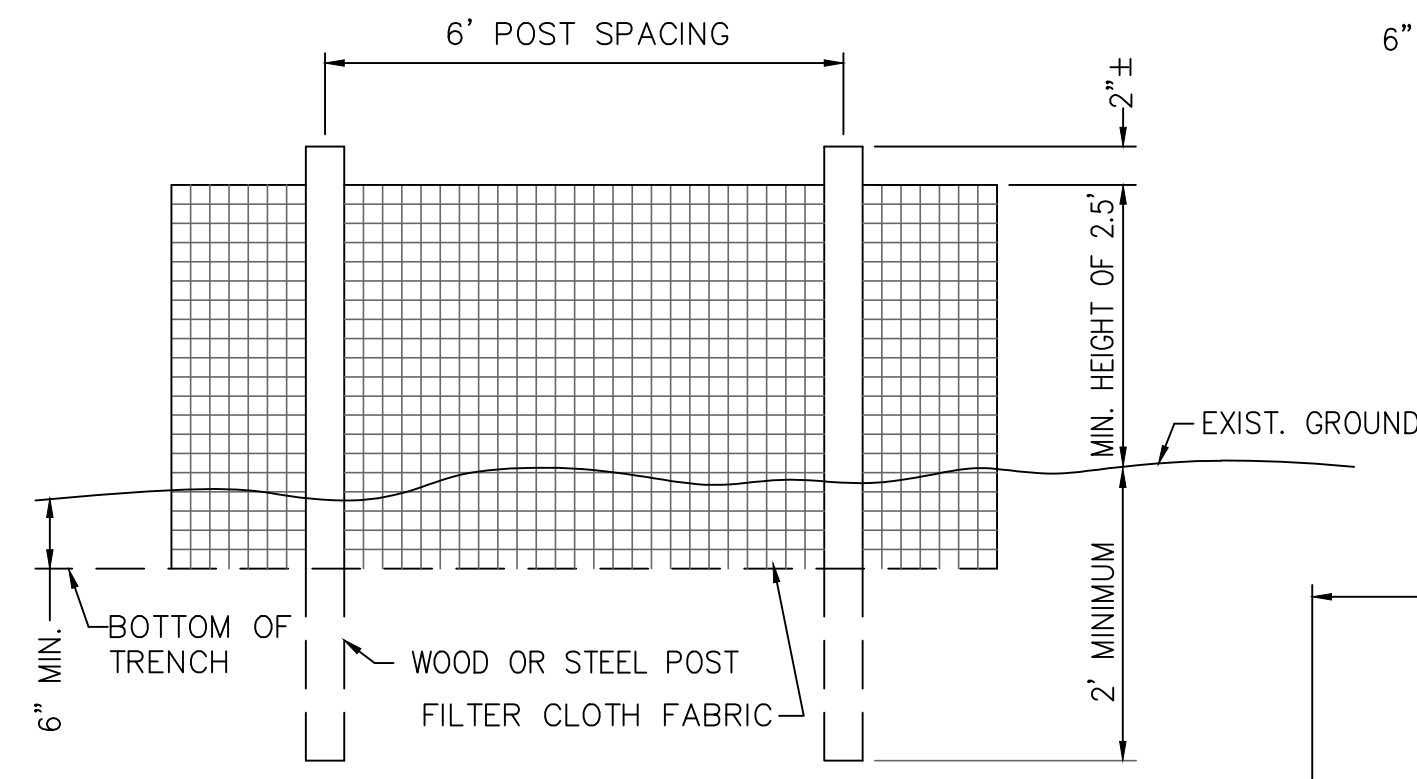


**EROSION CONTROL NOTES**

- PRIOR TO FINAL ACCEPTANCE BY HAMILTON COUNTY AND/OR ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE OWNER OR OWNER'S AGENT SHALL SUBMIT AN INVENTORY OF THE CONSTRUCTED STORMWATER DRAINAGE SYSTEM, WHETHER PUBLIC OR PRIVATE, TO HAMILTON COUNTY IN ELECTRONIC FORMAT. ELECTRONIC AS-BUILT DRAWINGS SHALL BE SUBMITTED IN AUTOCAD AND PDF FORMAT AND SHALL SHOW PLAINLY THE APPROVED AND CONSTRUCTED LAYOUT OF THE STORMWATER SYSTEMS. THE AS-BUILT DRAWING SHALL INCLUDE ALL STORMWATER FEATURES, WHETHER NEW OR EXISTING, INCLUDING THE OUTFALL TO THE CITY DRAINAGE SYSTEM (EX: CATCH BASINS, CONDUITS, HYDROLOGIC FEATURES INCLUDING PONDS, STREAMS, CULVERT INLETS AND OUTFALLS, AND ALL PVIOUS SURFACES, ETC.)
- ALL EROSION AND SEDIMENT CONTROL PRACTICES MUST COMPLY WITH THE CURRENT EDITION OF THE TN EROSION & SEDIMENT CONTROL MANUAL, THE HAMILTON COUNTY BMP MANUAL, AND THE TDEC CONSTRUCTION GENERAL PERMIT. (IF APPLICABLE).
- THE CONTRACTOR SHALL NOTIFY THE SURVEYOR AND THE HAMILTON COUNTY INSPECTOR AT LEAST 48 HOURS PRIOR TO ANY COVER PLACED ON UNDERGROUND SYSTEMS. FAILURE TO DO SO MAY RESULT IN RE-EXCAVATION AND/OR RE-CONSTRUCTION AT THE OWNER/CONTRACTOR'S EXPENSE.
- THE WATER QUALITY BUFFERS WITH TDEC STREAMS EXIST AS PART OF THIS PROJECT AND HAVE BEEN OUTLINED ON SHEETS C1.1 THRU C1.3.
- THE PURPOSE OF THIS EROSION CONTROL PLAN IS TO PREVENT SILTATION AND OTHER POLLUTANTS, DUE TO CONSTRUCTION, FROM ENTERING ADJACENT STREAMS AND PROPERTY. SHOULD SEDIMENT BE RELEASED FROM THE CONSTRUCTION SITE INTO THE STREAM IMMEDIATE ACTION IS NECESSARY. TDEC SHALL BE NOTIFIED AND CONSULTED, PRIOR TO SEDIMENT REMOVAL, TO DETERMINE THE BEST COURSE OF ACTION FOR REPAIR.
- MAINTAIN ALL GROUND COVER WHENEVER POSSIBLE. ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE NOT TO RECEIVE PAVING SHALL BE SEEDED AND MULCHED AS SOON AS POSSIBLE. ALL DISTURBED AREAS WITH THE RIGHT OF WAY SHALL BE SODDED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS.
- TO REDUCE SEDIMENT IN RUNOFF, EROSION CONTROL MEASURES SHALL BE INSTALLED PROMPTLY.
- TO ENSURE EROSION CONTROL MEASURES WORK PROPERLY, IT IS IMPERATIVE THAT THE SEDIMENT BE REMOVED WHEN 50% OF THE STORAGE VOLUME HAS BEEN FILLED AND WHEN NECESSARY TO PREVENT OVERTOPPING AND FAILURE OF THE MEASURE. CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH TDEC'S BEST MANAGEMENT PRACTICES FOR THE PROJECT DURATION.
- DURING SEDIMENT REMOVAL, THE CONTRACTOR SHALL TAKE CARE TO ENSURE THAT STRUCTURAL COMPONENTS OF EROSION CONTROL STRUCTURES ARE NOT DAMAGED AND THUS MADE INEFFECTIVE. IF DAMAGE DOES OCCUR, THE CONTRACTOR SHALL REPAIR THE STRUCTURES AT THE CONTRACTOR'S EXPENSE.
- SEDIMENT REMOVED FROM SEDIMENT CONTROL STRUCTURES IS TO BE PLACED AT A SITE APPROVED BY THE ENGINEER. IT SHALL BE TREATED IN A MANNER SO THAT THE AREA AROUND THE DISPOSAL SITE WILL NOT BE CONTAMINATED OR DAMAGED BY THE SEDIMENT IN RUN-OFF. ALL COST FOR SEDIMENT REMOVAL SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- IN THE EVENT THAT SEDIMENT ENTERS THE STREAM, TDEC SHALL BE NOTIFIED IMMEDIATELY AND CONSULTED WITH PRIOR TO REMOVING THE SEDIMENT.
- UPON COMPLETE REMOVAL OF SEDIMENT TRAPS, SPECIAL DITCHES, ETC., THE AREA WHERE THEY WERE CONSTRUCTED IS TO BE TOPSOILED, SEEDED, AND MULCHED OR SODDED AS SHOWN IN PLANS.
- ALL STOCKPILES SHALL BE CONTAINED BY SILT FENCE IN ORDER TO PREVENT SEDIMENT RUNOFF FROM LEAVING THE SITE AND ENTERING NEARBY STREAMS.
- SHOULDERS AND EXCAVATED AREAS SHALL BE PROMPTLY STABILIZED AGAINST EROSION. SILTATION MEASURES SHALL BE IMPLEMENTED PROMPTLY TO REDUCE THE SEDIMENT IN RUN-OFF FROM THE CONSTRUCTION SITE.
- EQUIPMENT STAGING AND MAINTENANCE AREAS SHALL BE DEVELOPED A SUFFICIENT DISTANCE FROM STREAMS TO ENSURE THAT OIL, GASOLINE, AND OTHER PETROLEUM POLLUTANTS DO NOT ENTER THE WATERWAYS.
- CONCRETE TRUCK WASH OUT AREAS WILL BE DESIGNATED BY THE EROSION INSPECTOR AND SHALL BE PROPERLY CONTAINED BY THE CONTRACTOR TO PREVENT RUNOFF INTO DRAINAGE STRUCTURES OR STREAMS. A RAIN GAUGE AND BOX FOR INSPECTION REPORTS SHALL BE KEPT NEAR THE CONSTRUCTION ENTRANCE.
- THE CONTRACTOR FOR THIS SITE SHALL DETERMINED BY DAWSON HALLIDAY WITH HALLIDAY INVESTMENT PROPERTIES, LLC AND SHALL BE LEVEL 1 CERTIFIED FOR ALL EROSION CONTROL MATTERS. MR. HALLIDAY'S PHONE NUMBER IS 865-924-7788. INSPECTIONS SHALL BE PERFORMED AT LEAST TWICE WEEKLY AND AT LEAST 72 HOURS APART.
- PARCEL AREA = 9.42 ACRES CONSTRUCTION LIMITS = 8.42 AC DISTURBED ACREAGE = 8.42 ACRES.
- PRE CONSTRUCTION IMPERVIOUS ACREAGE = 0.40 ACRES.
- POST CONSTRUCTION IMPERVIOUS ACREAGE = 4.21 ACRES.
- ALL AREAS TO REMAIN BARE > 14 DAYS MUST BE TEMPORARILY STABILIZED. ANY SLOPES GREATER THAN 3:1 TO REMAIN BARE MUST BE TEMPORARILY STABILIZED WITHIN 7 DAYS.
- THE AREAS WITHIN THE PROJECT BOUNDARY ARE IN AN AREA OF MINIMAL FLOOD HAZARD (ZONE X) ACCORDING TO FEMA FLOOD MAP 47065C0268G, DATED 2/3/2016.
- VERTICAL DATUM BASED UPON NAVD88.
- IN THE EVENT THAT A SINKHOLE IS ENCOUNTERED, THE DEVELOPER, ENGINEER, AND THE CITY OF OOLTEWAH SHALL BE NOTIFIED. THE CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION IN THE VICINITY OF THE SINKHOLE UNTIL A CLEAR COURSE OF ACTION IS DETERMINED.



**SEDIMENT WATTLE DETAIL**  
(ALTERNATE OPTION TO SILT FENCE)

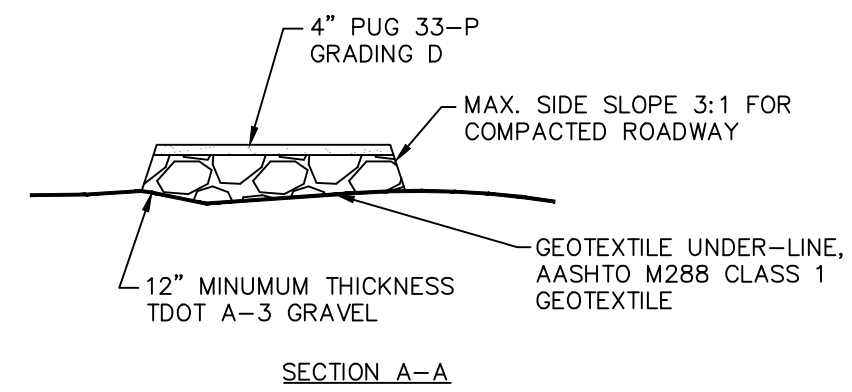


**ELEVATION**

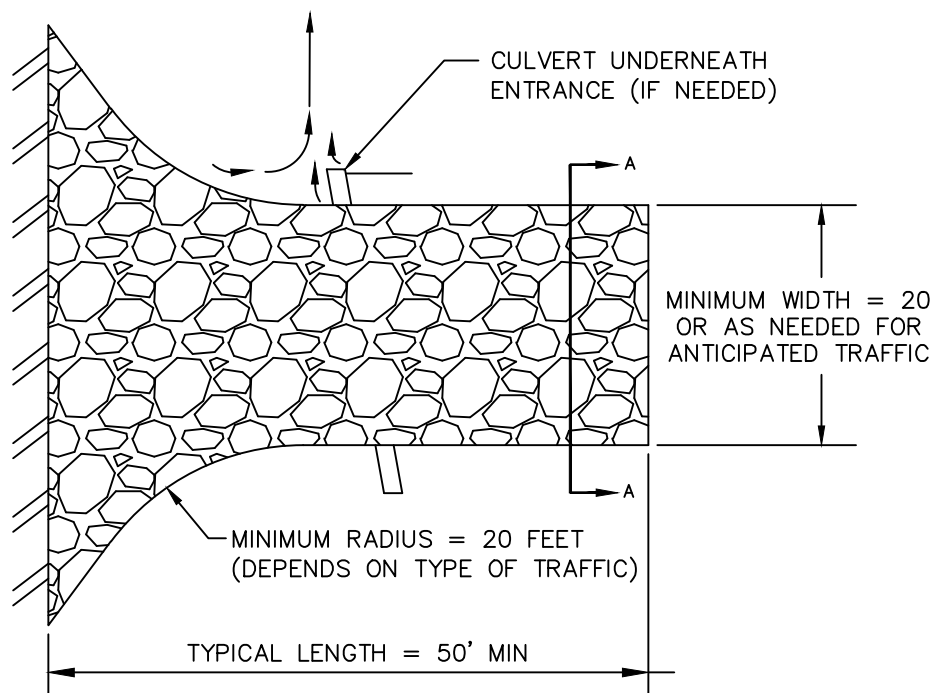
**NOTES:**

- A PREASSEMBLED SILT FENCE MEETING THE REQUIREMENTS OF THIS DRAWING IS ACCEPTABLE IN LIEU OF A FIELD CONSTRUCTED SILT FENCE.

**1 SILT FENCE**  
C1.4 NTS



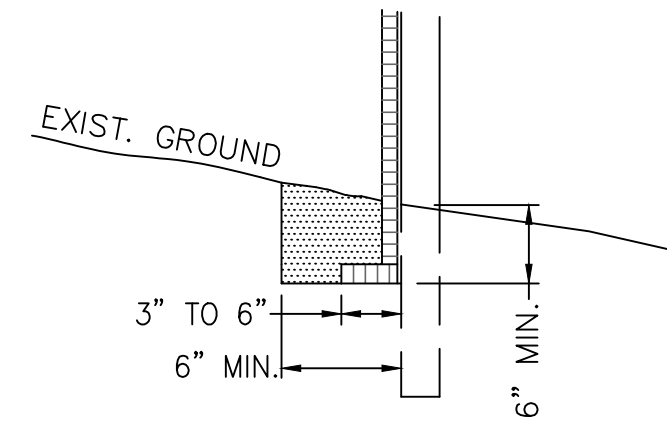
**SECTION A-A**



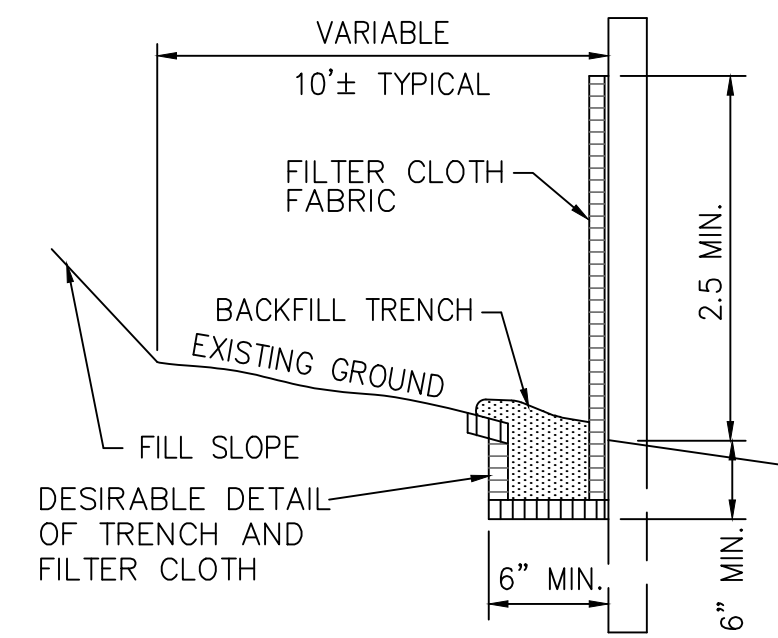
**NOTE:**

- LOCATION OF CONSTRUCTION ENTRANCE/EXITS WILL BE DETERMINED IN THE FIELD BY THE DESIGNER.
- PLATES MAY BE NEEDED TO PROTECT UNDERGROUND UTILITIES. PLATES SHALL BE INCLUDED IN COST OF CONSTRUCTION ENTRANCE.

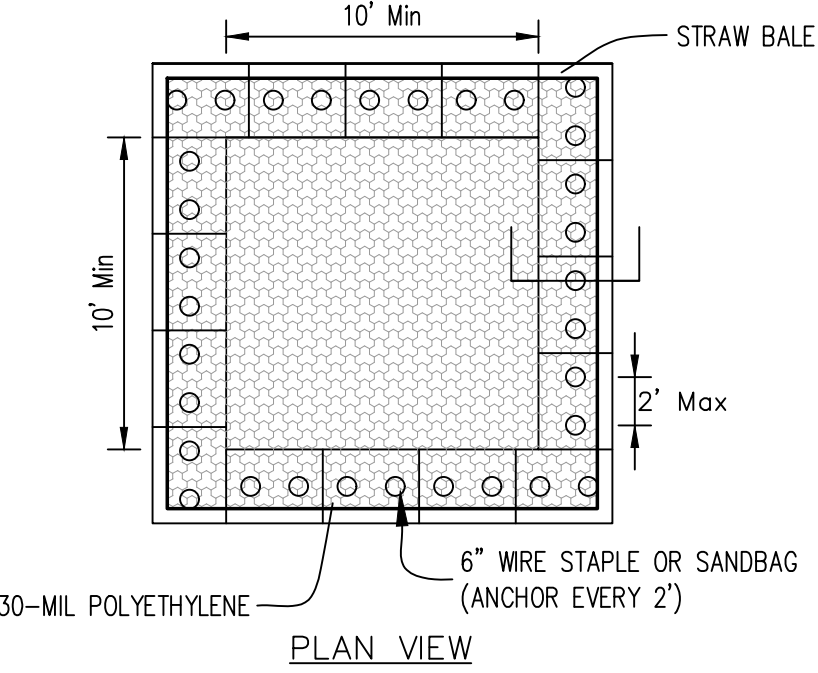
**3 CONSTRUCTION ENTRANCE**  
C1.4 NTS



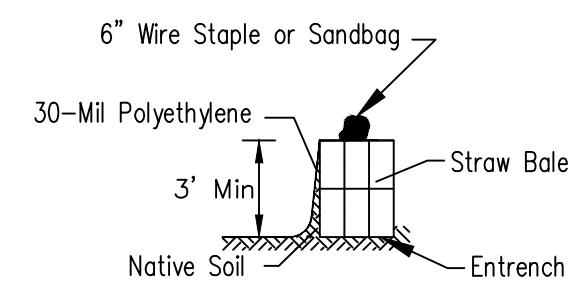
**ALTERNATE DETAIL OF TRENCH AND FILTER CLOTH**



**SECTION**



**PLAN VIEW**

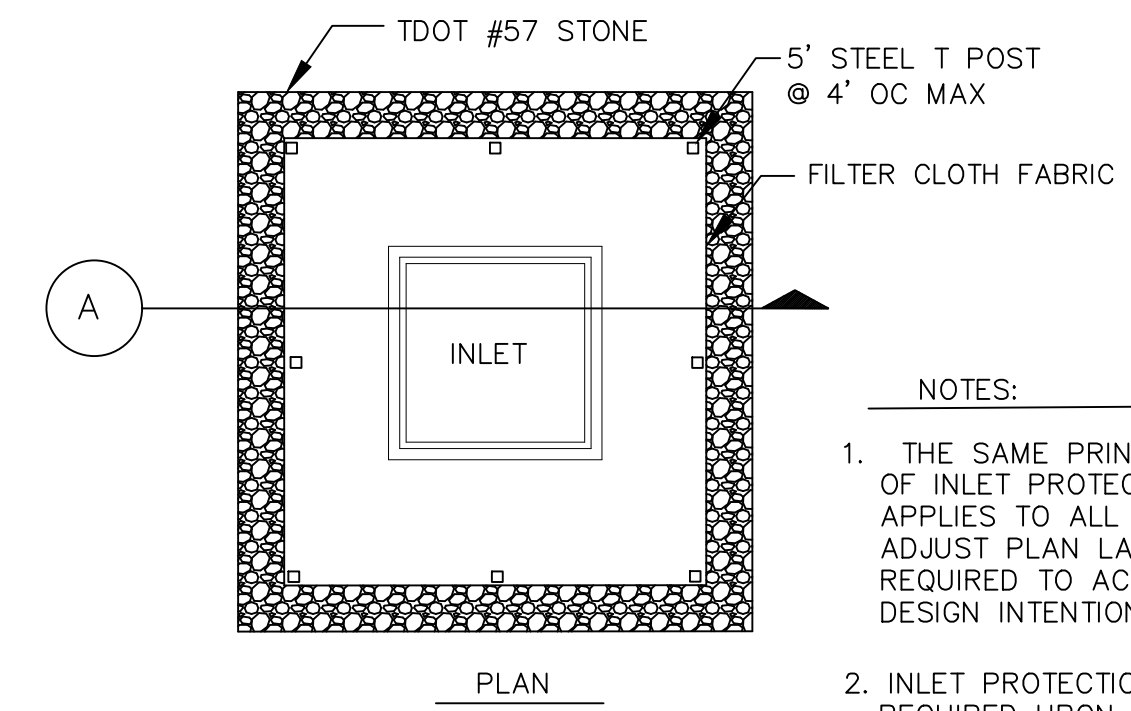


**STRAW BALE ANCHOR SECTIONS**

**NOTES:**

- Maintaining temporary concrete washout facilities shall include removing and disposing of hardened concrete and/or slurry and returning the facilities to a functional condition.
- Facility shall be cleaned or reconstructed in a new area once washout becomes two-thirds full.
- Each straw bale is to be staked in place using (2) 2"x2"x4' wooden stakes.

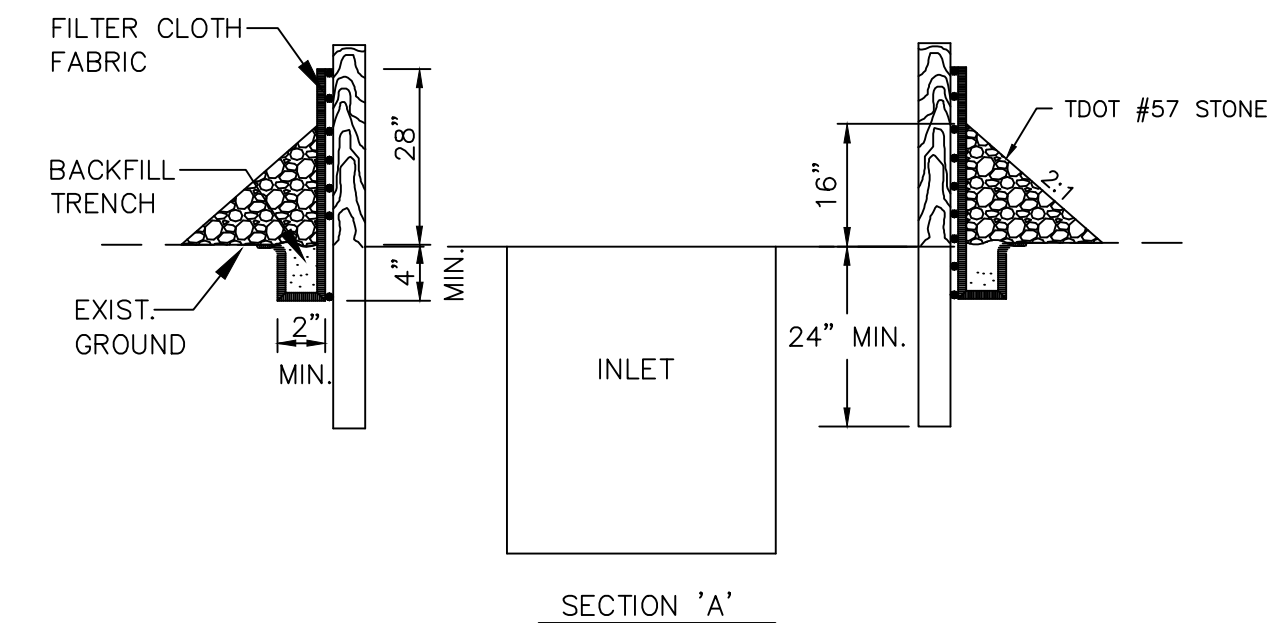
**4 CONCRETE WASHOUT**  
C1.4 NTS



**PLAN**

**NOTES:**

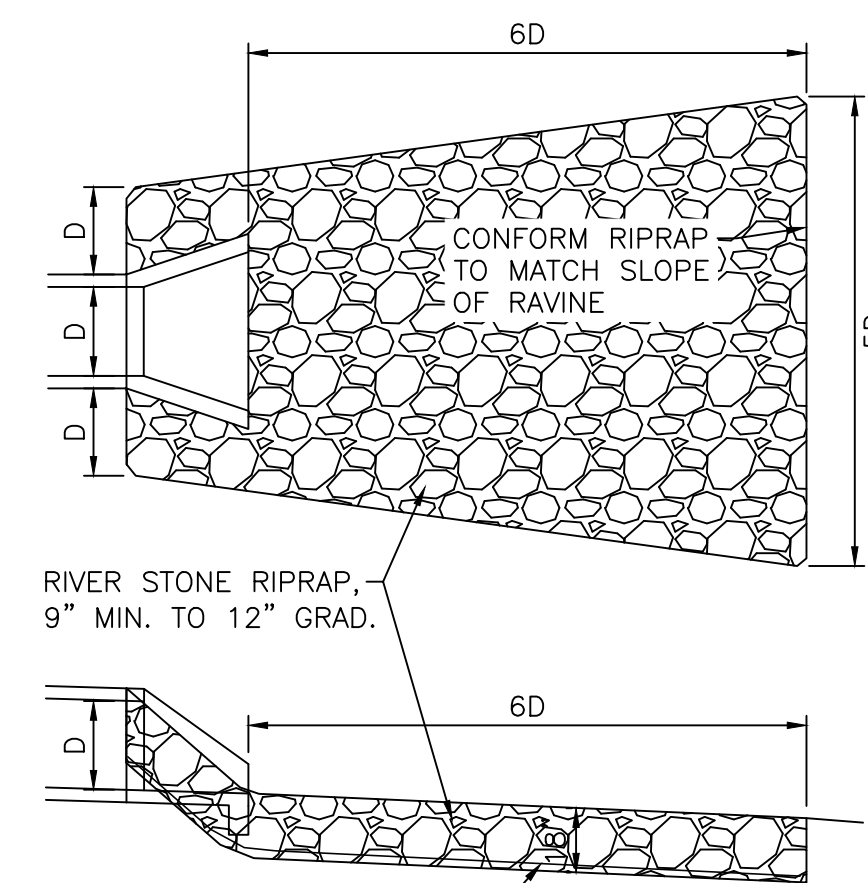
- THE SAME PRINCIPLE OF INLET PROTECTION APPLIES TO ALL INLETS. ADJUST PLAN LAYOUT AS REQUIRED TO ACHIEVE DESIGN INTENTION.
- INLET PROTECTION IS REQUIRED UPON INSTALLATION OF INLETS AND SHALL REMAIN ACTIVE UNTIL FINAL SEEDING IS TO TAKE PLACE, AT WHICH TIME SILT FENCE SHALL BE REMOVED.



**SECTION 'A'**

**NOTE:**  
REMOVE INLET PROTECTION UPON COMPLETION OF PROJECT (NO SEPARATE PAY)  
SILT SACK OR APPROVED EQUAL FOR INLETS IN PAVEMENT.

**2 INLET PROTECTION DETAIL**  
C1.4 NTS



**NONWOVEN GEOTEXTILE FILTER FABRIC, AASHTO M288 CLASS 1**

**5 OUTLET PROTECTION**  
C1.4 NTS



**AUSTIN ENGINEERING CO., INC.**  
Consulting Engineers / Surveyors  
311 SW Water St., Suite 215  
Peoria, Illinois 61602  
License No. 184-001143

**FAITH VIEW SUBDIVISION**

7038 OOLTEWAH GEORGETOWN ROAD,  
OOLTEWAH, TN 37363  
PARCEL NO. 114-062.01

OWNER:  
HALLIDAY INVESTMENT PROPERTIES, LLC  
8007 HAMPTON COVE DRIVE  
OOLTEWAH, TN 37363

REVISED:

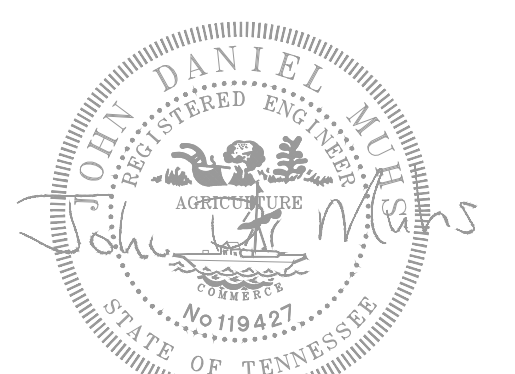
**EROSION CONTROL NOTES & DETAILS**

PROJECT NO: TN70-23-032

DATE: 06-7-24

SURVEYED: TR DESIGNED: JDM

DRAWN: JSD APPROVED: JDM

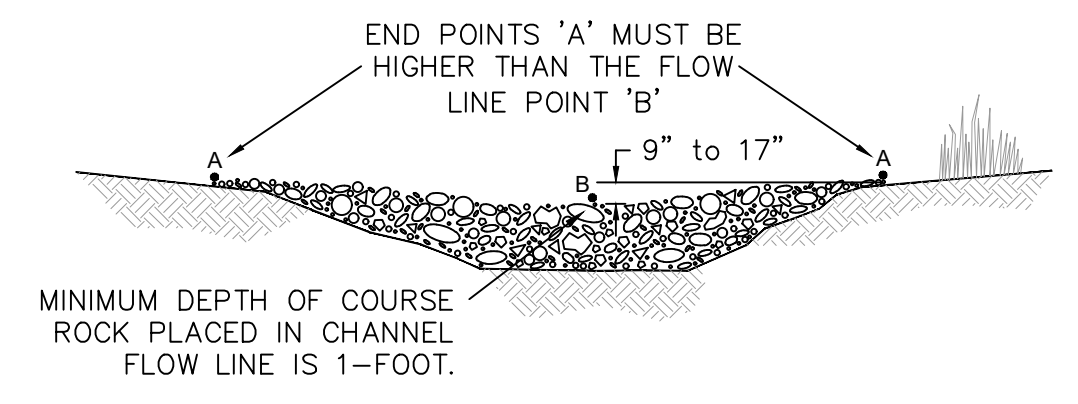


6-7-24

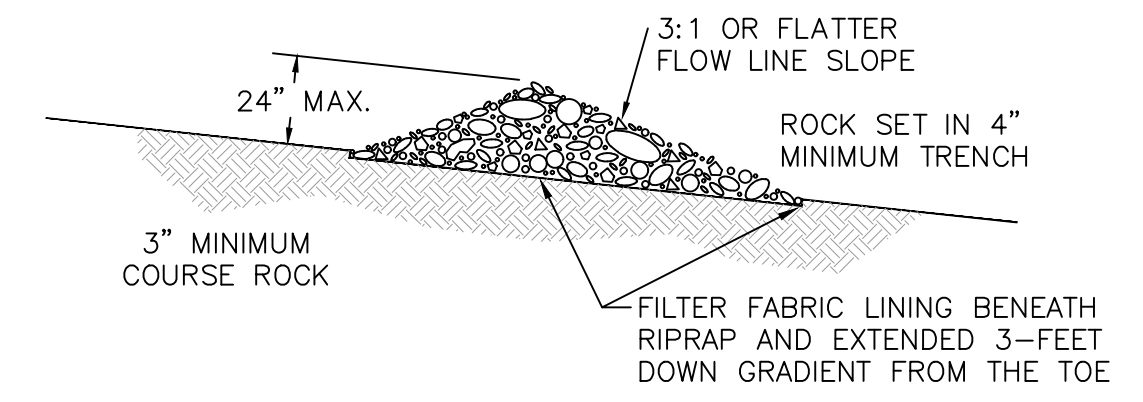
C1.4



AUSTIN ENGINEERING CO., INC.  
 Consulting Engineers / Surveyors  
 311 SW Water St., Suite 215  
 Peoria, Illinois 61602  
 License No. 184-001143



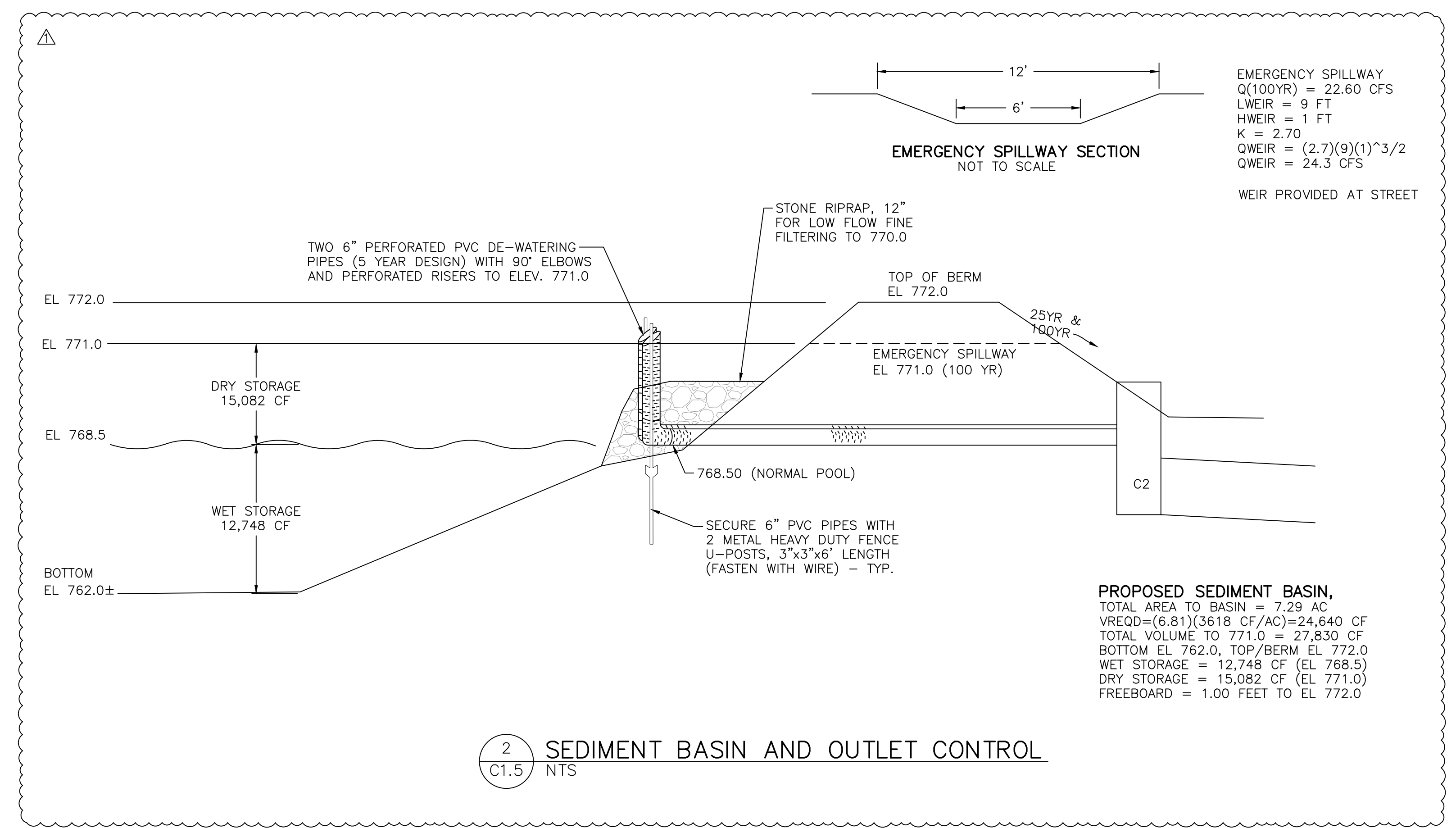
VIEW LOOKING UPSTREAM



SIDE VIEW

- NOTES:
1. CONSTRUCT WITH CLASS A-1 RIPRAP.
  2. CENTER SHALL BE 1" ABOVE FLOWLINE OF THE DITCH. PLACE ADDITIONAL ROCK, AS NEEDED, TO MAINTAIN DESIGN DIMENSIONS.
  3. REMOVE SEDIMENT DEPOSITS BEFORE DEPTH REACHES ONE HALF OF THE DAM HEIGHT.

1 CHECK DAM DETAIL  
 C1.5 NTS



EMERGENCY SPILLWAY SECTION  
 NOT TO SCALE

EMERGENCY SPILLWAY  
 $Q(100YR) = 22.60$  CFS  
 $LWEIR = 9$  FT  
 $HWEIR = 1$  FT  
 $K = 2.70$   
 $QWEIR = (2.7)(9)(1)^{3/2}$   
 $QWEIR = 24.3$  CFS  
 WEIR PROVIDED AT STREET

PROPOSED SEDIMENT BASIN,  
 TOTAL AREA TO BASIN = 7.29 AC  
 $VREQ = (6.81)(3618 \text{ CF/AC}) = 24,640$  CF  
 TOTAL VOLUME TO 771.0 = 27,830 CF  
 BOTTOM EL 762.0, TOP/BERM EL 772.0  
 WET STORAGE = 12,748 CF (EL 768.5)  
 DRY STORAGE = 15,082 CF (EL 771.0)  
 FREEBOARD = 1.00 FEET TO EL 772.0

2 SEDIMENT BASIN AND OUTLET CONTROL  
 C1.5 NTS

FAITH VIEW  
 SUBDIVISION

7038 OOLTEWAH GEORGETOWN ROAD,  
 OOLTEWAH, TN 37363  
 PARCEL NO. 114-062.01

OWNER:  
 HALLIDAY INVESTMENT PROPERTIES, LLC  
 8007 HAMPTON COVE DRIVE  
 OOLTEWAH, TN 37363

- REVISED:
- 6-18-24 TDEC EPSC COMMENTS

EROSION CONTROL  
 DETAILS

PROJECT NO: TN70-23-032  
 DATE: 06-7-24  
 SURVEYED: TR DESIGNED: JDM  
 DRAWN: JSD APPROVED: JDM



6-7-24

C1.5

**APPENDIX C**  
**BLANK INSPECTION CERTIFICATION**



**TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC)**

Division of Water Resources

William R. Snodgrass Tennessee Tower, 312 Rosa L. Parks Avenue, 11th Floor, Nashville, Tennessee 37243  
1-888-891-8332 (TDEC)

**General NPDES Permit for Stormwater Discharges from Construction Activities (CGP)**

**Construction Stormwater Inspection Certification (Twice-Weekly Inspections)**

<b>Site or Project Name:</b>		<b>NPDES Tracking Number: TNR</b>
Primary Permittee Name:		Date of Inspection:
Current approximate disturbed acreage:	Has rainfall been checked/documented daily? Yes      No	Name of Inspector:
Current weather conditions:		Inspector's Training Certification Number:

**Please check the box if the following items are on-site:**

Notice of Coverage (NOC)     
  Stormwater Pollution Prevention Plan (SWPPP)     
  Twice-weekly inspection documentation  
 Site contact information     
  Rain Gage     
  Off-site Reference Rain Gage Location: \_\_\_\_\_

**Best Management Practices (BMPs):**

**Are the Erosion Prevention and Sediment Controls (EPSCs) functioning correctly:** If "No," describe below in Comment Section

1. Are all applicable EPSCs installed and maintained per the SWPPP?	Yes	No
2. Are EPSCs functioning correctly at all disturbed areas/material storage areas per section 4.1.5?	Yes	No
3. Are EPSCs functioning correctly at outfall/discharge points such that there is no objectionable color contrast in the receiving stream, and no other water quality impacts per section 5.3.2?	Yes	No
4. Are EPSCs functioning correctly at ingress/egress points such that there is no evidence of track out?	Yes	No
5. If applicable, have discharges from dewatering activities been managed by appropriate controls per section 4.1.4? If "No," describe below the measures to be implemented to address deficiencies.	Yes	No
6. If construction activity at any location has temporarily/permanently ceased, was the area stabilized within 14 days per section 3.5.3.2? If "No," describe below each location and measures taken to stabilize the area(s)	Yes	No
7. Have pollution prevention measures been installed, implemented, and maintained to minimize the discharge of pollutants from equipment and vehicle washing, wheel wash water, and other wash waters per section 4.1.5? If "No," describe below the measures to be implemented to address deficiencies.	Yes	No
8. If a concrete washout facility is located on site, is it clearly identified on the project and maintained? If "No," describe below the measures to be implemented to address deficiencies.	N/A	Yes      No
9. Have all previous deficiencies been addressed? If "No," describe remaining deficiencies in Comment section. Check if deficiencies/corrective measures have been reported on a previous form.	Yes	No

Comment Section. If the answer is "No" for any of the above, please describe the problem and corrective actions to be taken. Otherwise, describe any pertinent observations:

**Certification and Signature** (must be signed by the certified inspector and the permittee per Sections 3.5.8.2 (g) and 7.7.2 of the CGP)

I certify under penalty of law that this document and all attachments were prepared by me, or under my direction or supervision. The submitted information is to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment. As specified in Tennessee Code Annotated Section 39-16-702(a)(4), this declaration is made under penalty of perjury.

Inspector Name and Title:	Signature:	Date:
Primary Permittee Name and Title:	Signature:	Date:

## Construction Stormwater Inspection Certification Form (Twice-Weekly Inspections)

### **Purpose of this form/ Instructions**

An inspection, as described in section 3.5.8.2. of the General Permit for Stormwater Discharges from Construction Activities ("Permit"), shall be performed at least twice every calendar week and documented on this form. Inspections shall be performed at least 72 hours apart. Where sites or portion(s) of construction sites have been temporarily stabilized, or runoff is unlikely due to winter conditions (e.g., site covered with snow or ice), such inspection only has to be conducted once per month until thawing results in runoff or construction activity resumes.

As described in section 3.5.8.1 of the Permit, inspectors performing the required twice weekly inspections must have an active certification by completing the "Fundamentals of Erosion Prevention and Sediment Control Level I" course (<http://www.tnepsc.org/>). Twice weekly inspections can also be performed by: a licensed professional engineer or landscape architect; a Certified Professional in Erosion and Sediment Control (CPESC) or a person who has successfully completed the "Level II Design Principles for Erosion Prevention and Sediment Control for Construction Sites" course. A copy of the certification or training record for inspector certification should be kept on site.

Qualified personnel, (provided by the permittee or cooperatively by multiple permittees) shall inspect disturbed areas of the construction site that have not been finally stabilized, areas used for storage of materials that are exposed to precipitation, structural control measures, locations where vehicles enter or exit the site, and each outfall.

Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the site's drainage system. Erosion prevention and sediment control measures shall be observed to ensure that they are operating correctly.

Outfall points (where discharges leave the site and/or enter waters of the state) shall be inspected to determine whether erosion prevention and sediment control measures are effective in preventing significant impacts to receiving waters. Where discharge locations are inaccessible, nearby downstream locations shall be inspected. Locations where vehicles enter or exit the site shall be inspected for evidence of offsite sediment tracking.

Based on the results of the inspection, any inadequate control measures or control measures in disrepair shall be replaced or modified, or repaired as necessary, before the next rain event if possible, but in no case more than 7 days after the need is identified.

Based on the results of the inspection, the site description identified in the SWPPP in accordance with section 3.5.1 of the Permit and pollution prevention measures identified in the SWPPP in accordance with section 3.5.2 of the Permit, shall be revised as appropriate, but in no case later than 7 days following the inspection. Such modifications shall provide for timely implementation of any changes to the SWPPP, but in no case later than 14 days following the inspection.

All inspections shall be documented on this Construction Stormwater Inspection Certification form. Alternative inspection forms may be used as long as the form contents and the inspection certification language are, at a minimum, equivalent to the division's form and the permittee has obtained a written approval from the division to use the alternative form. Inspection documentation will be maintained on site and made available to the division upon request. Inspection reports must be submitted to the division within 10 days of the request.

Trained certified inspectors shall complete inspection documentation to the best of their ability. Falsifying inspection records or other documentation or failure to complete inspection documentation shall result in a violation of this permit and any other applicable acts or rules.

**APPENDIX D**  
**BLANK NOTICE OF TERMINATION (NOT)**



**TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC)**

Division of Water Resources

William R. Snodgrass Tennessee Tower, 312 Rosa L. Parks Avenue, 11th Floor, Nashville, Tennessee 37243  
1-888-891-TDEC (8332)

**Notice of Termination (NOT) for General NPDES Permit for Stormwater Discharges from Construction Activities (CGP)**

This form is required to be submitted when requesting termination of coverage from the CGP. The purpose of this form is to notify the TDEC that either all stormwater discharges associated with construction activity from the portion of the identified facility where you, as an operator, have ceased or have been eliminated; or you are no longer an operator at the construction site. Submission of this form shall in no way relieve the permittee of permit obligations required prior to submission of this form. Please submit this form to the local DWR Environmental Field Office (EFO) address (see table below). For more information, contact your local EFO at the toll-free number 1-888-891-8332 (TDEC).

**Type or print clearly, using ink.**

<b>Site or Project Name:</b>	<b>NPDES Tracking Number: TNR</b>
Street Address or Location:	County(ies):

<b>Name of Permittee Requesting Termination of Coverage:</b>			
Permittee Contact Name:		Title or Position:	
Mailing Address:	City:	State:	Zip:
Phone:	E-mail:		

**Check the reason(s) for termination of permit coverage:**

<input type="checkbox"/>	Stormwater discharge associated with construction activity is no longer occurring and the permitted area has a uniform 70% permanent vegetative cover OR has equivalent measures such as rip rap or geotextiles, in areas not covered with impervious surfaces.
<input type="checkbox"/>	You are no longer the operator at the construction site (i.e., termination of site-wide, primary or secondary permittee coverage).

**Certification and Signature:** (must be signed by president, vice-president or equivalent ranking elected official)

I certify under penalty of law that either: (a) all stormwater discharges associated with construction activity from the portion of the identified facility where I was an operator have ceased or have been eliminated or (b) I am no longer an operator at the construction site. I understand that by submitting this notice of termination, I am no longer authorized to discharge stormwater associated with construction activity under this general permit, and that discharging pollutants in stormwater associated with construction activity to waters of the United States is unlawful under the Clean Water Act where the discharge is not authorized by a NPDES permit. I also understand that the submittal of this notice of termination does not release an operator from liability for any violations of this permit or the Clean Water Act.

For the purposes of this certification, elimination of stormwater discharges associated with construction activity means that all stormwater discharges associated with construction activities from the identified site that are authorized by a NPDES general permit have been eliminated from the portion of the construction site where the operator had control. Specifically, this means that all disturbed soils at the portion of the construction site where the operator had control have been finally stabilized, the temporary erosion and sediment control measures have been removed, and/or subsequent operators have obtained permit coverage for the site or portions of the site where the operator had control.

I certify under penalty of law that this document and all attachments were prepared by me, or under my direction or supervision. The submitted information is to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment. As specified in Tennessee Code Annotated Section 39-16-702(a)(4), this declaration is made under penalty of perjury.

Permittee name (print or type):	Signature:	Date:
---------------------------------	------------	-------

EFO	Street Address	Zip Code	EFO	Street Address	Zip Code
Memphis	8383 Wolf Lake Drive, Bartlett, TN	38133	Cookeville	1221 South Willow Ave.	38506
Jackson	1625 Hollywood Drive	38305	Chattanooga	1301 Riverfront Parkway, Ste. 206	37402
Nashville	711 R S Gass Boulevard	37243	Knoxville	3711 Middlebrook Pike	37921
Columbia	1421 Hampshire Pike	38401	Johnson City	2305 Silverdale Road	37601

**APPENDIX E**  
**SEEDING MIXTURES FOR PERMANENT AND TEMPORARY**  
**STABILIZATION**



## STABILIZATION SEEDING SCHEDULE

<b>TEMPORARY SEEDING RECOMMENDATION**</b>			
<b>Zone Application</b> (Region III)	<b>Seeding Dates</b> (best/marginal)	<b>Grass Seed</b> <b>Mix</b>	<b>Preferred Rate</b> (lb/acre PLS*)
<2500' elevation	Feb 1 – May 1	Rye	120
<2500' elevation	May 15 – Aug 15	Oats Brown top millet	60 30
<2500' elevation	Aug 15 – Dec 15	Oats Winter wheat	30 30

\*\* Table provides recommendations for temporary seeding species. Contractor may alternatively select a non-invasive grass or grass-legume mixture suitable to the area and season of year.

<b>PERMANENT SEEDING MIXTURES</b> (Preferred mixes using natives or naturalized plants)			
<b>Zone Application</b> (Region III)	<b>Seeding Dates</b> (best/marginal)	<b>Grass Seed</b> <b>Mix</b>	<b>Preferred Rate</b> (lb/acre PLS*)
<u>Steep Slopes:</u> <2500' elevation	<b>Aug 15 – Sep 1; Mar 1 – Apr 1;</b> Sep 1 – Sep 15; Apr 1 – Jun 10	Browntop millet switch grass little bluestem Virginia wild rye purpletop partridge pea black-eyed susan	15 2 4 4 4 2 2
<u>Shallow Soils:</u> <2500' elevation	<b>Aug 15 – Sep 1; Sep 1 – Sep 15;</b> <b>Mar 1 – Apr 1; Apr 1 – Jun 10</b>	Browntop millet purpletop little bluestem broomsedge partridge pea black-eyed susan monarda (bergamot)	15 4 10 10 2 2 0.5
<u>Moderate Slopes:</u> <2500' elevation	<b>Aug 15 – Sep 1; Sep 1 – Sep 15;</b> <b>Mar 1 – Apr 1; Apr 1 – Jun 10</b>	Browntop millet purpletop little bluestem Indian grass black-eyed susan monarda (bergamot) Maryland senna	15 4 10 10 2 0.5 4
<u>High maintenance</u> (i.e. lawns): <2500' elevation	<b>Aug 15 – Sep 1; Sep 1 – Sep 15;</b> <b>Mar 1 – Apr 1; Apr 1 – Jun 10</b>	Browntop millet red fescue hard fescue chewing fescue	15 45 45 25

<b>PERMANENT SEEDING MIXTURES</b> (Allowable mixes)			
<b>Zone Application</b> (Region III)	<b>Seeding Dates</b> (best/marginal)	<b>Grass Seed Mix</b>	<b>Preferred Rate</b> (lb/acre PLS*)
<u>Steep Slopes:</u> <2500' elevation	<b>Aug 15 – Sep 1; Mar 1 – Apr 1;</b> Sep 1 – Sep 15; Apr 1 – May 10; Jul 25 – Aug 15	KY 31 fescue Kobe lespedeza Korean lespedeza Redtop	100 20 10 5
<u>Shallow Soils:</u> <2500' elevation	<b>Aug 15 – Sep 1; Sep 1 – Sep 15;</b> <b>Mar 1 – Apr 1; Apr 1 – May 10;</b> Jul 25 – Aug 15	KY 31 fescue Korean lespedeza Redtop Crown vetch	40 10 10 10
<u>Moderate Slopes:</u> <2500' elevation	<b>Aug 15 – Sep 1; Sep 1 – Sep 15;</b> <b>Mar 1 – Apr 1; Apr 1 – May 10;</b> Jul 25 – Aug 15	KY 31 fescue Korean lespedeza Kobe lespedeza	60 15 15
<u>High maintenance</u> (i.e. lawns): <2500' elevation	<b>Aug 15 – Sep 1; Sep 1 – Sep 15;</b> <b>Mar 1 – Apr 1; Apr 1 – May 10;</b> Jul 25 – Aug 15	KY 31 fescue	200

\*\* Seed rates are based upon Pure Live Seed (PLS), which is the product of the purity shown on the seed tag multiplied by the germination. Example: Given a seed to be applied at a rate of 2 lb/acre with a seed tag stating 98.22% purity and 95.32% germination; the percentage of seed which are considered live would be  $0.9822 \times 0.9532 = 0.9362$  or 93.62% PLS. Applying the seeding rate of 2 lb/acre with the live seed of the supply at 93.62% the actual rate required is  $2 \text{ lb/ac} / 93.62\% = 2.14 \text{ lb/acre}$ . Therefore, to get an actual rate of 2 lbs. per acre it will require 2.15 lbs of seed per acre.


**APPENDIX F**  
**OWNER AND CONTRACTOR CERTIFICATIONS**

**NPDES STORM WATER POLLUTION PREVENTION PLAN (SWPPP)  
OWNER CERTIFICATION**

**FAITH VIEW SUBDIVISION  
OOLTEWAH, TENNESSEE**

**Site Owner/Developer/Primary Permittee**

I certify under penalty of law that this document and all attachments were prepared by me, or under my direction or supervision. The submitted information is to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment. As specified in Tennessee Code Annotated Section 39-16-702(a)(4), this declaration is made under penalty of perjury.

  
\_\_\_\_\_  
Signature

**7/7/2024**  
\_\_\_\_\_  
Date

**Dawson Halliday**  
\_\_\_\_\_  
Printed Name

**Member**  
\_\_\_\_\_  
Title

**Halliday Investment Properties**  
\_\_\_\_\_  
Company Name

**865-924-7788**  
\_\_\_\_\_  
Phone Number

**8007 Hampton Cove Drive**  
\_\_\_\_\_  
Company Address

**NPDES STORM WATER POLLUTION PREVENTION PLAN (SWPPP)  
CONTRACTOR CERTIFICATION**

**FAITH VIEW SUBDIVISION  
OOLTEWAH, TENNESSEE**

**Construction Contractor (Secondary Permittee)**

I certify under penalty of law that I have reviewed this document, any attachments, and the SWPPP referenced above. Based on my inquiry of the construction site owner/developer identified above and/or my inquiry of the person directly responsible for assembling this NOI and SWPPP, I believe the information submitted is accurate. I am aware that this NOI, if approved, makes the above-described construction activity subject to NPDES permit number TNR100000, and that certain of my activities on-site are thereby regulated. I am aware that there are significant penalties, including the possibility of fine and imprisonment for knowing violations, and for failure to comply with these permit requirements. As specified in Tennessee Code Annotated Section 39-16-702(a)(4), this declaration is made under penalty of perjury.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Company Name

\_\_\_\_\_  
Phone Number


\_\_\_\_\_  
Company Address

## FW: Faith View SD CGP Application

Jason Dees <Jason.Dees@tn.gov>

Tue 6/18/2024 2:09 PM

To: Cali Calderwood <Cali.Calderwood@tn.gov>; Hannah L. Biggs <Hannah.L.Biggs@tn.gov>

 1 attachments (4 MB)

NOI-SWPPP Faith View Sub - Rev 6-18-24.pdf;

Upload please.

---

**From:** Dan Muhs <dmuhs@austinengineeringcompany.com>

**Sent:** Tuesday, June 18, 2024 1:04 PM

**To:** Jason Dees <Jason.Dees@tn.gov>; Dawson Hal <dawson.halliday4@gmail.com>

**Cc:** Jennifer Innes <Jennifer.Innes@tn.gov>

**Subject:** [EXTERNAL] RE: Faith View SD CGP Application

**\*\*\* This is an EXTERNAL email. Please exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email - STS-Security. \*\*\***

Jason,

Attached is the revised NOI and SWPPP for TNR114264 Faith View for your comments below. A summary of the revisions is as follows:

1. The SOS Control Number was added to the NOI as requested.
2. We added a sediment basin upstream of the existing pond as requested. See Stages 1 and 2 on C1.2 and C1.2 along with the detail on C1.5.
3. We will be submitting an ARAP Permit for the outfall into and out of the old farm pond. I did not realize that the old farm pond that dries up half of the time was a water of the State which was my fault for thinking it could serve as a sediment basin in the original submittal. This old pond will not serve as any type of wq treatment but will only have water flow through it to meet Hamilton County detention requirements. FYI, the water quality treatment is being performed by a hydrodynamic separator as required by Hamilton County WQ. I will give you a heads up once the ARAP is submitted so you are aware of the permit number and can track it.

Please let me know if you have any questions. Thanks.

Dan

John (Daniel) Muhs, PE

Initial Licensure State: Illinois

Additional Licensure States: TN-GA

**Chattanooga Office | Project Manager**

If we offered you exceptional services, please click [here](#) to leave us a review on Google!



AUSTIN ENGINEERING COMPANY, INC.  
Chattanooga, TN - Peoria, IL - Davenport, IA  
[www.austinengineeringcompany.com](http://www.austinengineeringcompany.com)

email: [dmuhs@austinengineeringcompany.com](mailto:dmuhs@austinengineeringcompany.com)  
Cell: (423) 223-5800  
Toll-Free: (844) 691-AECI  
Corporate Office: (309) 691-0224



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---

**From:** Jason Dees <[Jason.Dees@tn.gov](mailto:Jason.Dees@tn.gov)>  
**Sent:** Monday, June 17, 2024 2:48 PM  
**To:** Dan Muhs <[dmuhs@austinengineeringcompany.com](mailto:dmuhs@austinengineeringcompany.com)>; Dawson Hal <[dawson.halliday4@gmail.com](mailto:dawson.halliday4@gmail.com)>  
**Cc:** Jennifer Innes <[Jennifer.Innes@tn.gov](mailto:Jennifer.Innes@tn.gov)>  
**Subject:** Faith View SD CGP Application

Dan – I have two comments on the application. First, we need the SOS# filled in on the NOI. Second, we can't allow an existing pond to be used as a basin. You can discharge post-construction runoff to a pond as long as the outfall is covered under an ARAP, but existing ponds can't be converted to a EPSC measure that would treat stormwater. Please let me know if you have any questions.



**Jason Dees** | Environmental Consultant  
Division of Water Resources/Chattanooga Environmental Field Office  
1301 Riverfront Parkway, Suite 206  
Chattanooga, TN 37402  
p. 423-497-6125  
[Jason.Dees@tn.gov](mailto:Jason.Dees@tn.gov)  
[tn.gov/environment](http://tn.gov/environment)