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WL-EDC -



TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION
Division of Water Resources
William R. Snodgrass Tennessee Tower, 312 Rosa L. Parks Avenue, 11th Floor,
Nashville, Tennessee, 37243
1-888-891-8332 (TDEC)

Application for Aquatic Resource Alteration Permit (ARAP) & State §401 Water Quality Certification

OFFICIAL STATE USE ONLY	Site #: <u>WL-108374</u>	Permit #: <u>NR2301.145</u>
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Section 1. Applicant Information (individual responsible for site, signs certification below)

Applicant Name (company or individual): <u>600 River Street, LLC</u>		SOS #: <u>487077</u>	Status: <u>Active</u>
Primary Contact/Signatory: <u>Ken DeFoor</u>		Signatory's Title or Position: <u>Owner/Manager</u>	
Mailing Address: <u>801 Broad Street, Suite 200</u>		City: <u>Chattanooga</u>	State: <u>TN</u> Zip: <u>37402</u>
Phone: <u>423-308-1830</u>	Fax:	E-mail: <u>ken@defoordevelopments.com</u>	

Section 2. Alternate Contact/Consultant Information (a consultant is not required)

Alternate Contact Name: <u>Michael Price, PE</u>			
Company: <u>MAP Engineers</u>		Title or Position: <u>President</u>	
Mailing Address: <u>7380 Applegate Lane</u>		City: <u>Chattanooga</u>	State: <u>TN</u> Zip: <u>37421</u>
Phone: <u>423-855-5554</u>	Fax:	E-mail: <u>mapengr@epbf.com</u>	

Section 3. Fee (application will be incomplete until fee is received)

No Fee Fee Submitted with Application Amount Submitted: \$ 500.00

Current application fee schedules can be found at the Division of Water Resources webpage at:
<https://www.tn.gov/environment/permit-permits/water-permits/1/aquatic-resource-alteration-permit--arap-.html>
or by calling (615) 532-0625. Please make checks payable to "Treasurer, State of Tennessee".

Billing Contact (if different from Applicant): Name: Email:
Address: Phone:

Section 4. Project Details (fill in information and check appropriate boxes)

Site or Project Name: <u>River Street Luxury Condominiums</u>	Nearest City, Town or Major Landmark: <u>Chattanooga</u>	
Street Address or Location (include zip): <u>600 River Street, Chattanooga, TN 37416</u>		
County(ies): <u>Hamilton</u>	MS4 Jurisdiction: <u>Chattanooga</u>	Latitude (dd.ddd): <u>35.05935 N</u>
		Longitude (dd.ddd): <u>85.30274 W</u>
Resources Proposed for Alteration:	<input checked="" type="checkbox"/> Stream / River <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Reservoir	
Name of Water Resource (for more information, access http://tdeconline.tn.gov/dwr): <u>Tennessee River (Nickajack Reservoir)</u>		
Brief Project Description (a more detailed description is required under Section 8): <u>Required maintenance of existing seawall along riverbank to include point repair and partial replacement.</u>		
Does the proposed activity require approval from the U.S. Army Corps of Engineers, the Tennessee Valley Authority, or any other federal, state, or local government agency? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide the permit reference numbers: <u>TVA 26a 168025 (10/15/2008) Currently under review for reactivation.</u>		
Will the activity require a 401 Water Quality Certification: <input type="checkbox"/> Yes <input type="checkbox"/> No		
If Yes, attach any 401 WQC pre-filing meeting request documentation		
Is the proposed activity associated with a larger common plan of development: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, submit site plans and identify the location and overall scope of the common plan of development.		
Plans attached? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
If applicable, indicate any other federal, state, or local permits that are associated with the overall project site (common plan of development) that have been obtained in the past (e.g., construction general permit and/or other ARAP): <u>TNR 112844 (04/19/2016)</u>		

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CHATTANOOGA FIELD OFFICE

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Section 5. Project Schedule (fill in information and check appropriate boxes)	
Proposed start date: January 1, 2024	Estimated end date: January 1, 2025
Is any portion of the activity complete now?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, describe the extent of the completed portion:	

The required information in Sections 6-11 must be submitted on a separate sheet(s) and submitted in the same numbered format as presented below. If any question is not applicable, state the reason why it is not applicable.

Section 6. Description	Attached	
	Yes	No
6.1 A narrative description of the scope of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.2 USGS topographic map indicating the exact location of the project (can be a photographic copy)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.3 Photographs of the resource(s) proposed for alteration with location description (photo locations should be noted on map)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.4 A narrative description of the existing stream and/or wetland characteristics including, but not limited to, dimensions (e.g., depth, length, average width), substrate and riparian vegetation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.5 A narrative description of the proposed stream and/or wetland characteristics including, but not limited to, dimensions (e.g., depth, length, average width), substrate and riparian vegetation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6.6 In the case of wetlands, include a wetland delineation with delineation forms and site map denoting location of data points	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6.7 A copy of all hydrologic or jurisdictional determination documents issued for water resources on the project site	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Section 7. Project Rationale	Attached	
	Yes	No
Describe the need for the proposed activity, including, but not limited to the purpose, alternatives considered and rationale for selection of least impactful alternative, and what will be done to avoid or minimize impacts to water resources	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Section 8. Technical Information	Attached	
	Yes	No
8.1 Detailed plans, specifications, blueprints, or legible sketches of present site conditions and the proposed activity. Plans must be 8.5.x 11 inches. Additional larger plans may also be submitted to aid in application review. The detailed plans should be superimposed on existing and new conditions (e.g., stream cross sections where road crossings are proposed)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8.2 For the proposed activity and compensatory mitigation, provide a discussion regarding the sequencing of events and construction methods and any proposed monitoring	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8.3 Depiction and narrative on the location and type of erosion prevention and sediment control (EPSC) measures for the proposed alterations and any other measures to treat, control, or manage impacts to waters	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<p>Section 9. Water Resources Degradation (degree of proposed impact)</p> <p>Note that in most cases, activities that exceed the scope of the General Permit limitations are considered greater than <i>de minimis</i> degradation to water quality.</p> <p>Please provide your basis for concluding the proposed activity will cause one of the following levels of water quality degradation:</p> <p><input checked="" type="checkbox"/> a. <i>De minimis</i> degradation, no appreciable permanent loss of resource values</p> <p><input type="checkbox"/> b. Greater than <i>de minimis</i> degradation (if greater than <i>de minimis</i> complete Sections 10-11)</p> <p><i>For information and guidance on the definition of de minimis and degradation, refer to the Antidegradation Statement in Chapter 0400-40-03-.06 of the Tennessee Water Quality Criteria Rule:</i> https://publications.tnsosfiles.com/rules/0400/0400-40/0400-40.htm</p> <p><i>For more information on specifics on what General Permits can cover, refer to the Natural Resources Unit webpage at:</i> https://www.tn.gov/environment/permit-permits/water-permits1/aquatic-resource-alteration-permit-arap.html</p>

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Section 10. Detailed Alternatives Analysis		Attached	
		Yes	No
10.1	Analyze all reasonable alternatives and describe the level of degradation and permanent loss of resource value caused by each alternative. Assessment must consider options other than the "Preferred" and "No Action" alternatives. Provide associated rationale for selecting or rejecting all alternatives considered and demonstration that the least impactful practicable alternative was selected.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10.2	Discuss the social and economic consequences of each alternative	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10.3	Demonstrate that the degradation associated with the preferred alternative will not violate water quality criteria for uses designated in the receiving waters, and is necessary to accommodate important economic and social development in the area	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Section 11. Compensatory Mitigation		Attached	
		Yes	No
11.1	A detailed discussion of the proposed compensatory mitigation. Provide evidence of credit reservation if proposing to utilize a third-party provider.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11.2	Analysis of any proposed appreciable loss of resource value using the TN Stream Mitigation Guidelines. Provide Stream Quantification Tool (SQT) results if applicable. Include Existing Condition Score (ECS) and debit/credit calculations.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11.3	Describe how the compensatory mitigation would result in no net loss of resource value	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11.4	Provide a detailed monitoring plan for the compensatory mitigation site if permittee-responsible project is proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11.5	Describe the long-term protection measures for the compensatory mitigation site if permittee-responsible project is proposed (e.g., deed restrictions, conservation easement)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Certification and Signature

An application submitted by a corporation must be signed by a principal executive officer; from a partnership or proprietorship, by the partner or proprietor respectively; from a municipal, state, federal or other public agency or facility, the application must be signed by either a principal executive officer, ranking elected official, or other duly authorized employee. ***I certify under penalty of law that this document and all attachments were prepared by me, or under my direction or supervision. The submitted information is to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment. As specified in Tennessee Code Annotated Section 39-16-702(a)(4), this declaration is made under penalty of perjury. The project proponent hereby requests that the certifying authority review and take action on this CWA 401 certification request within the applicable reasonable period of time.***

Ken DeFoor	Owner/Manager		12.11.2023
Printed Name	Official Title	Signature	Date

Note that this form must be signed by the principal executive officer, partner or proprietor, or a ranking elected official in the case of a municipality; for details see **Certification and Signature** statement above. For more information, contact your local EFO at the toll-free number 1-888-891-8332 (TDEC). Submit the completed ARAP Application form (keep a copy for your records) to the appropriate EFO for the county(ies) where the proposed activity is located, addressed to **Attention: ARAP Processing**. You may also electronically submit the complete application and all associated attachments to water.permits@tn.gov.

EFO	Street Address	Zip Code	EFO	Street Address	Zip Code
Memphis	8383 Wolf Lake Drive, Bartlett	38133-4119	Cookeville	1221 South Willow Ave.	38506
Jackson	1625 Hollywood Drive	38305-4316	Chattanooga	1301 Riverfront Pkwy., Ste. 206	37402
Nashville	711 R S Gass Boulevard	37243	Knoxville	3711 Middlebrook Pike	37921
Columbia	1421 Hampshire Pike	38401	Johnson City	2305 Silverdale Road	37601



6.1 – A narrative description of the scope of the project.

River Street Luxury Condominiums is a proposed six story residential building to be located at 600 River Street in Chattanooga, TN. As part of the proposed site development activities, an existing concrete sea wall that was constructed in approximately 1965 along the bank of the Tennessee River requires maintenance to include point repairs and/or replacement of portions of the wall. It is anticipated that the cumulative length of the repair work will not exceed 100 linear feet in total. **An existing USACE permit (79020) issued on 09/14/1989 includes continuing maintenance as a required condition of the permit.** The development also received TVA 26a permit approval (168025) on 10/15/2008, however, due the Financial Market and Housing Crisis of 2008-2009, work on the development was not initiated before the 26a permit expired and now the permit is currently under review for reactivation by TVA.

6.2 USGS topographic map.

See attached.

6.3 – Photographs of the resource proposed for alteration with location description (photographs should be noted on map).

See attached.

6.4 – A narrative description of the existing stream and/or wetland characteristics including, but not limited to, dimensions (e.g. depth, length, average width), substrate and riparian vegetation.

At the project location, the bank of the Tennessee River is comprised of an existing concrete sea wall approximately 325 feet in length that requires repair. The vegetation that is present above the wall is comprised of a mowed grassy lawn area. Upstream and downstream of the project location the bank is comprised of existing rip-rap stabilized slopes.

6.5 A narrative description of the proposed stream and/or wetland characteristics including, but not limited to, dimensions (e.g. depth, length, average width), substrate and riparian vegetation.

N/A.

6.6 In the case of wetlands, include wetland delineation with delineation forms and site map denoting location of data points.

No wetlands are presently onsite.

6.7 A copy of all hydrologic or jurisdictional determination documents issued for water resources on the project site.

N/A, Tennessee River.

SECTION 7. Project Rationale

Describe the need for the proposed activity, including, but not limited to, the purpose, alternatives considered, and what will be done to avoid or minimize impacts to streams and wetlands.

The proposed repair work to the wall is required per the 1989 USACE permit condition to provide continuing maintenance of the wall. Repair of the wall is imperative, not only for the benefit of the proposed residential development, but also to ensure the integrity of the existing 84-inch diameter City of Chattanooga sanitary sewer main located upslope of the wall. There are no feasible alternatives to repairing the wall, as any failure of the wall would cause critical damage to existing public infrastructure and negative environmental impacts to the river, and **inaction will violate the USACE permit requirements.** As the existing wall is anchored into the slope which is supporting the existing 84-inch diameter sewer main, removal of the wall and replacement with a rip-rap stabilized embankment could lead to further risk of possible loss of support for the sewer main, and as such is not an acceptable alternative either.

Repair activities will include repair or replacement of existing wall anchors as necessary, point repairs of any cracks in the wall, and replacement of sections of the wall that are failing. There are 8 locations along the wall where cracks have been designated for repair. The repair work that will be required at each location could range from minor patching with dowels and new concrete, to demolition of portions of the existing concrete wall to remove any deteriorated concrete material and replacement of the removed area with new steel reinforcement and concrete. It is anticipated that the cumulative length of the repair work will not exceed 100 linear feet in total. Erosion and sedimentation precautions include installing a floating turbidity curtain within the river along the base of the wall and a double row of Filtrexx Siltsoxx along the top of the wall. Any excavation of existing fill material behind the wall will be done in a fashion that pulls the material away from the river. Any stockpiling of this material will be done beyond the top of slope in such way as to prevent sediment from entering the river. Replacement of the backfill material will be performed as required to prevent any material from entering the river. Concrete material utilized during the repair work will also be prevented from entering the river. Cleaning of tools and equipment used during the work will occur in appropriate areas located away from the riverbank as required. Any existing concrete wall material removed during the work will be disposed of properly offsite as required. Equipment used during the repair work will be positioned behind the wall or on floating construction barges to prevent negative contact with the river.

SECTION 8. Technical Information

8.1 – Detailed plans, blueprints, or legible sketches of present site conditions and the proposed activity.

See attached.

8.2 – For the proposed activity and compensatory mitigation, provide a discussion regarding the sequencing of events and construction methods.

Erosion control measures including a floating turbidity curtain and Filtrexx Siltsoxx will be installed before repair work begins. Existing wall anchors will be exposed to determine if repair or replacement is necessary and will be repaired or replaced as required. Wall anchors that are deemed to remain will be protected from damage during remaining work activities. At locations where existing cracks are to be repaired, backfill behind the wall will be removed as required to provide the necessary area to perform the work. If the repair only requires patching of the wall, then drilling into the surrounding existing concrete will occur, reinforcing dowels will be inserted and secured with epoxy, forms will be placed on each side of the wall and new concrete will be poured into the forms. Once the new concrete has set, the forms will be removed and the backfill will be replaced behind the wall as required. In some repair locations the work will require additional existing deteriorated concrete material to be removed, and a larger area of existing backfill to be removed to provide an appropriate work area, however the steps listed above still apply during the repair activities.

8.3 – Depiction and narrative on the location and type of erosion prevention and sediment control (ESPC) measures for the proposed alterations.

Erosion and sedimentation measures include installing a floating turbidity curtain within the river along the base of the wall and a double row of siltsoxx along the top of the wall. Any excavation of existing fill material behind the wall will be done in a fashion that pulls the material away from the river. Any stockpiling of this material will be done beyond the top of slope in such way as to prevent sediment from entering the river. Replacement of the backfill material will be performed as required to prevent any material from entering the river. Concrete material utilized during the repair work will also be prevented from entering the river. Cleaning of tools and equipment used during the work will occur in appropriate areas located away from the riverbank as required. Any existing concrete wall material removed during the work will be disposed of properly offsite as required. Equipment used during the repair work will be positioned behind the wall or on floating construction barges to prevent negative contact with the river.

SECTION 9. Water Resources Degradation (degree of proposed impact)

Will not cause measureable degradation to water quality.

SECTION 10. Detailed Alternative Analysis

10.1 – Analyze all reasonable alternatives and describe the level of degradation caused by each of the feasible alternatives.

N/A – No degradation will be caused by proposed project.

10.2 – Discuss the social and economic consequences of each alternative.

N/A

10.3 – Demonstrate that the degradation associated with the preferred alternative will not violate water quality criteria for uses designated in the receiving waters, and is necessary to accommodate important economic and social development in the area.

N/A

SECTION 11. Compensatory Mitigation

11.1 – A detailed discussion of the proposed compensatory mitigation.

Mitigation is not required for this alteration.

11.2 – Describe how the compensatory mitigation would result in no net loss of resource value.

N/A

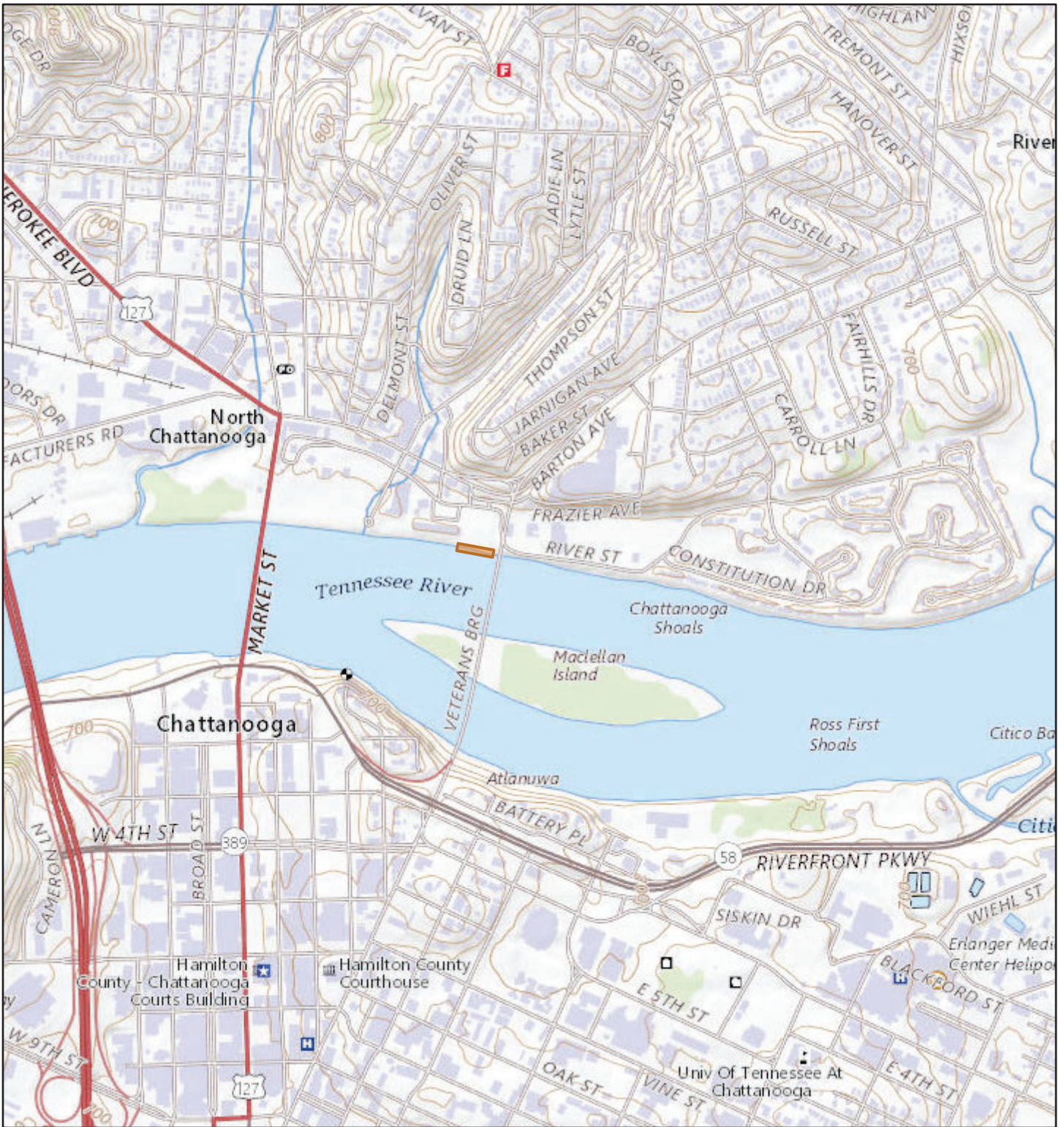
11.3 – Provide a detailed monitoring plan for the compensatory mitigation site.

N/A

11.4 – Describe the long-term protection measures for the compensatory mitigation site.

N/A

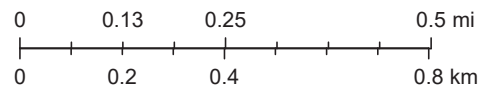
The National Map Advanced Viewer



12/12/2023, 3:54:06 PM

1:18,056

 **SITE LOCATION**



USGS The National Map: National Boundaries Dataset, 3DEP Elevation Program, Geographic Names Information System, National Hydrography Dataset, National Land Cover Database, National Structures Dataset, and National Transportation Dataset; USGS Global Ecosystems; U.S. Census Bureau TIGER/Line data; USFS Road Data; Natural Earth Data; U.S.

USGS
2021 USGS

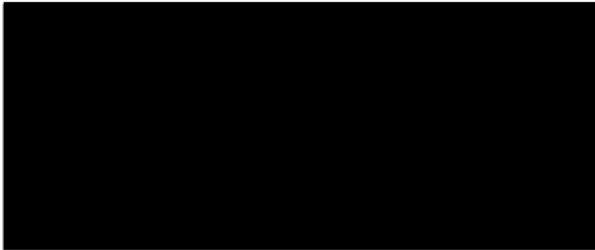
USACE PERMIT
09/14/1989

Non-TVA Tract
Approved
9/18/89
Logg

September 14, 1989

Eastern Regulatory Field Office

SUBJECT: File No. 79,020; Existing Grandfathered Retaining Wall at Tennessee River Mile 464.4R, Hamilton County, Tennessee



This is in response to your recent application for approval for an existing retaining wall at the subject location. Since your retaining wall was constructed in 1965, we have determined that your request has been previously approved by a Nationwide Permit (33 CFR 330.3) issued on July 19, 1977.

Your existing retaining wall must be maintained in accordance with the enclosed Special Conditions for Nationwide Permits.

Any questions or comments may be directed to this office at the above address or telephone (615) 986-7296.

Sincerely,

Catherine B. Elliott
Manager, Eastern Field Office
Operations and Readiness Division

Enclosures

Copy Furnished:

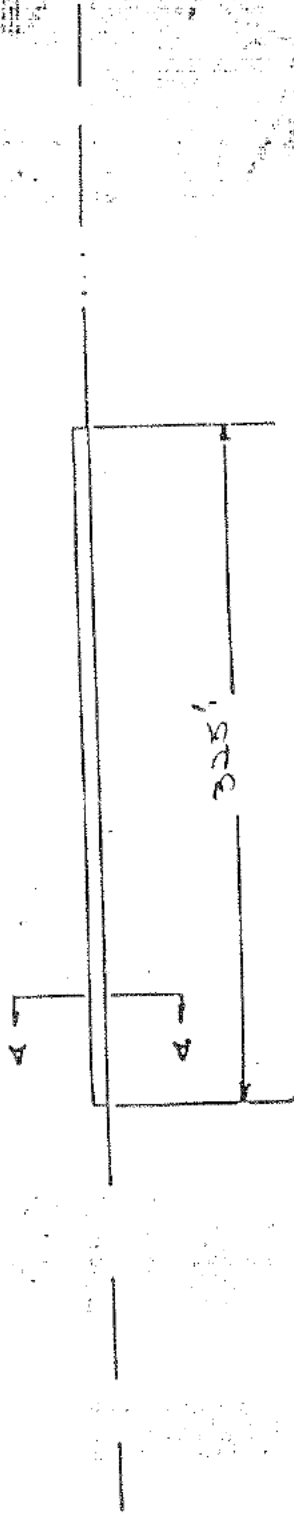
Tennessee Valley Authority
Central Land Resources District
Post Office Box 606
Athens, Tennessee 37303

170-21 (M) 12-255 (1981)

LM	
	WGM <i>WGM</i>
	CEW
	LIG
	JHE
	FCB
	RGW
<i>2</i>	JKN <i>JKN</i>
	CHE
<i>2</i>	PRK <i>PRK</i>
	DEW
	ASH
	WMS
	REP
	HEX

Files: _____

EXISTING
~~PROPOSED~~ RETAINING WALL

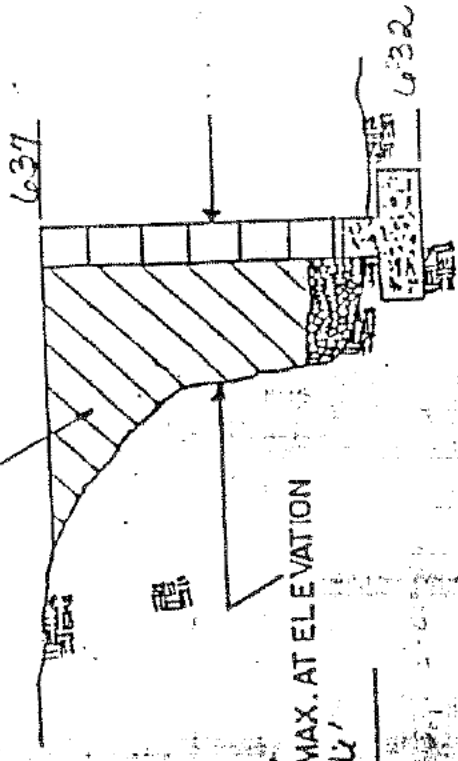


LOT NO. _____

TYPE OF WALL: concrete
AMOUNT OF FILL: ± 361 cu yds.

F.U. 79020
N.W.P.

FILL TO BE OBTAINED
FROM ABOVE NSP

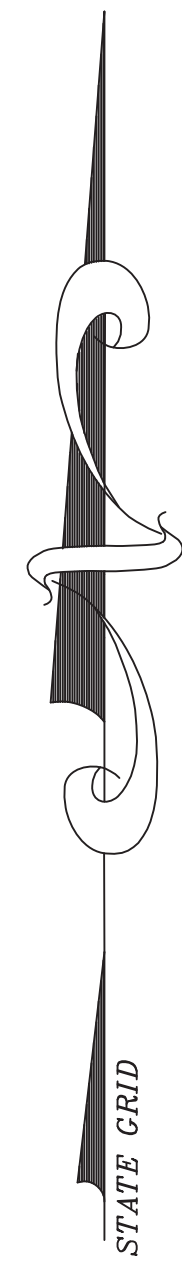


SEC A-A

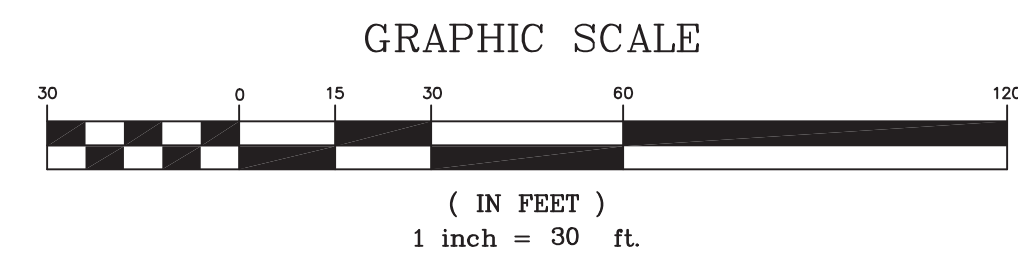
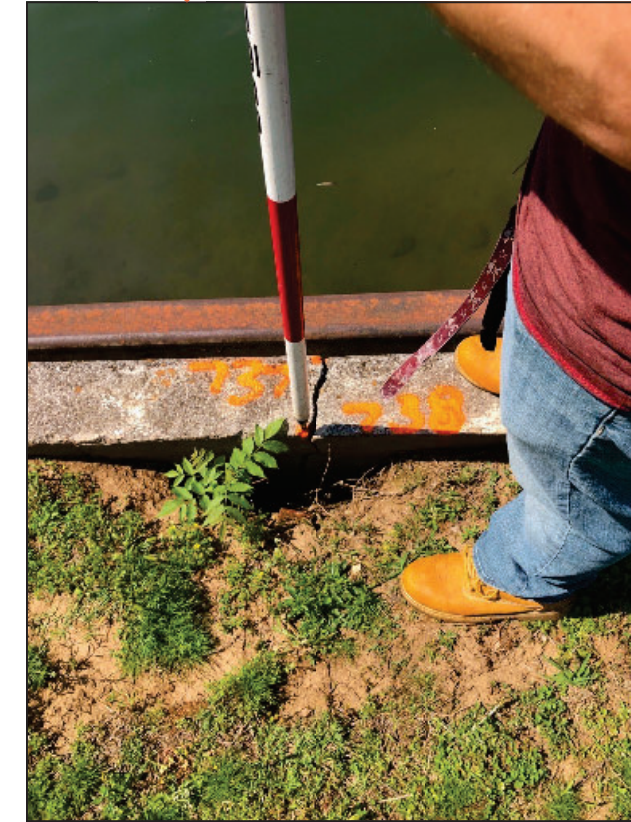
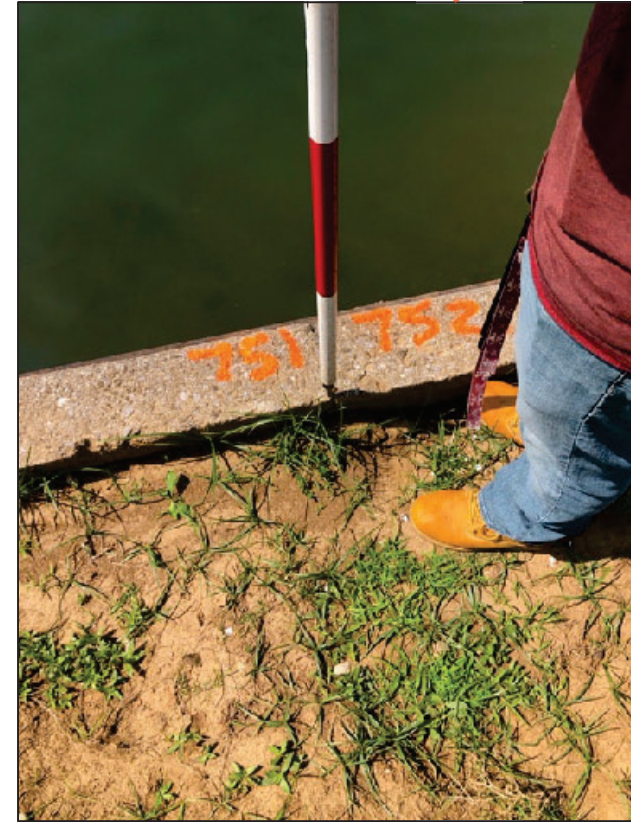
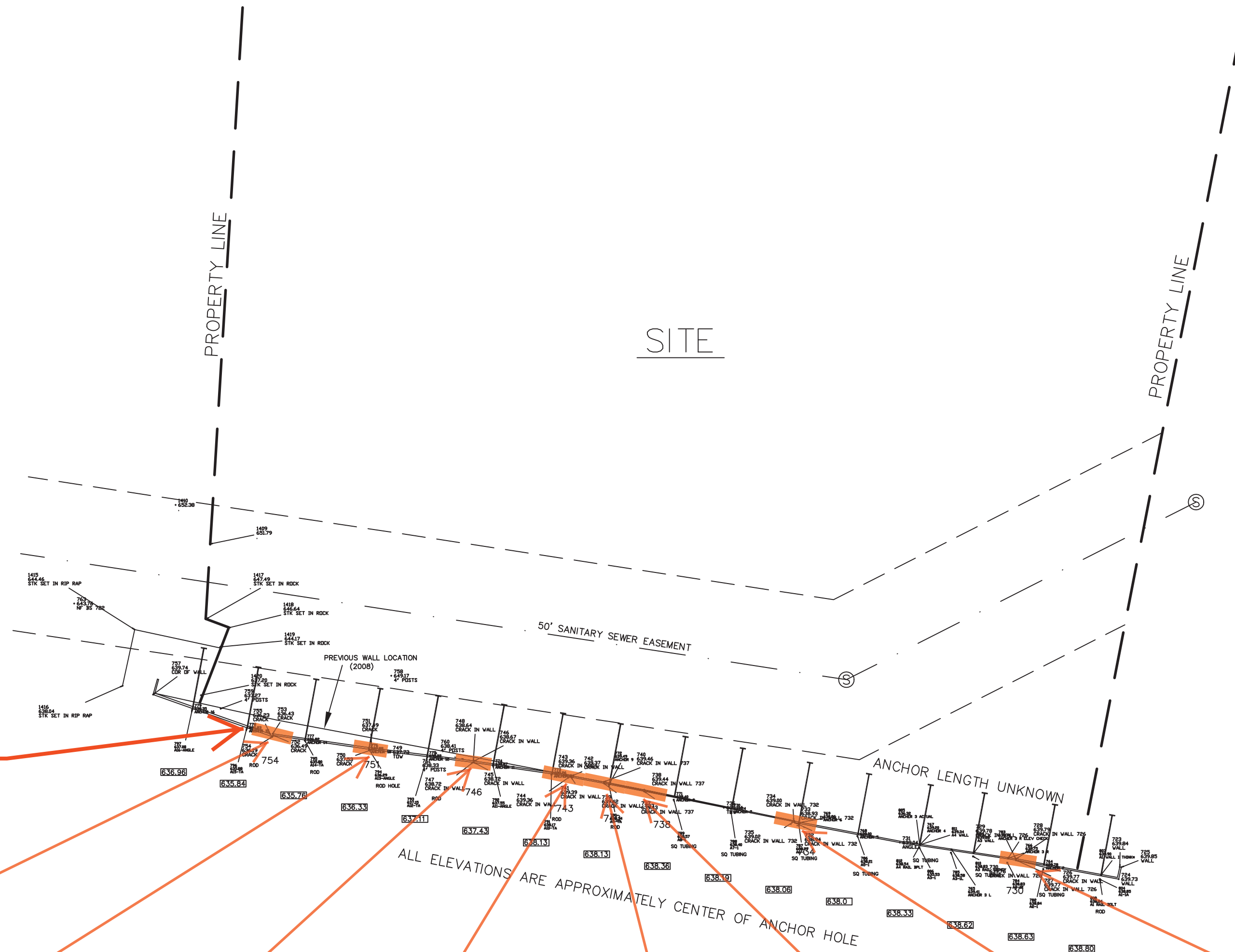


PLANS

C:\Land Projects\R2\VEHNS REST\dwg\WALL_5-2023.dwg 6/21/2023 11:04:48 AM EDT



Wall repair and/or replacement locations, typical.



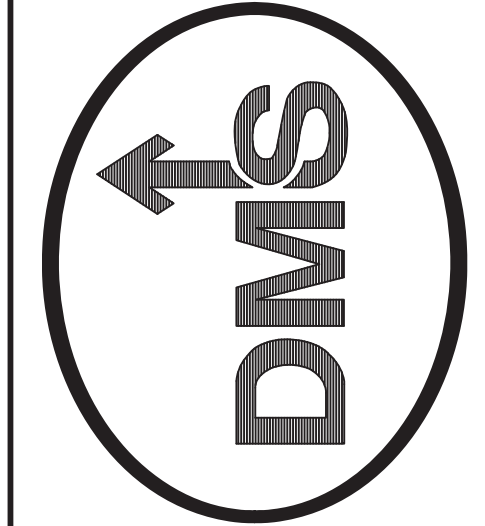
FIELD LOCATED WALL		
600 RIVER STREET, LLC		
CHATTANOOGA HAMILTON COUNTY, TENNESSEE		
Date: 5-18-2023	Drawn: DLM	Comp:
Scale: 1"=30'	Checked: P. ELROD	Job#: 23-104
DMS <small>DAVID MATHEWS SURVEYING</small>		
<small>1820 HAMIL ROAD CHATTANOOGA, TENN. 37343 FX: 423-870-9871 PH: 423-870-4208</small>		

DATE:	SCALE:	DRG. BY:	CHK. BY:	COMP:	JOB NO.:
5-18-23	1"=30'				
REVISIONS	6-22-2023				

600 RIVER STREET, LLC

CONDOMINIUMS

DMS MAPPING
 DAVID MATHEWS SURVEYING & MAPPING
 1820 HAMIL ROAD
 HIXSON, TENNESSEE 37343
 TEL: 423-870-9871
 FX: 423-870-4208



DRG. NO: 23-03894

GENERAL NOTES:

1. WHERE A DETAIL IS SHOWN FOR ONE CONDITION IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS.
2. DETAILS SHOWN ARE TYPICAL AND APPLY TO SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
3. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
4. BRACE STRUCTURE AS REQUIRED FOR CONSTRUCTION AND WIND LOADS UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED.

FOUNDATION AND SOIL PREPARATION NOTES:

1. BACKFILL AGAINST WALLS SHALL BE DEPOSITED EVENLY AGAINST BOTH SIDES OF THE WALL UNTIL THE LOWER FINAL GRADE IS REACHED. DO NOT BACKFILL WALLS UNTIL FLOOR FRAMING IS COMPLETE.
2. CONTRACTOR SHALL PROVIDE ADEQUATE BRACING OR SHORING FOR ALL WORK DURING THE CONSTRUCTION PERIOD
3. THE FOUNDATION DESIGN IS BASED ON AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 2,500 POUNDS PER SQUARE FOOT. BEARING STRATUM FOR FOOTINGS SHALL BE VERIFIED IN FIELD BEFORE PLACING CONCRETE FOOTINGS.
4. BOTTOM OF ALL FOOTINGS SHALL BE A MINIMUM OF 12 INCHES BELOW FINAL FINISHED GRADE.
5. BEAR ALL FOOTINGS ON COMPACTED STRUCTURAL FILL OR NATIVE UNDISTURBED SOIL

CAST-IN-PLACE CONCRETE NOTES:

1. CONCRETE FOR FOOTINGS, SLABS, AND WALL SHALL HAVE A 28 DAY DESIGN COMPRESSIVE STRENGTH OF 3,000 PSI.
2. REINFORCING STEEL SHALL BE DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60. #4 REINFORCEMENT BARS AND SMALLER SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED IN THE FIELD. REINFORCEMENT GREATER THAN A #4 BAR MAY NOT BE BENT IN THE FIELD WITHOUT APPROVAL.
3. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A82 AND A185.
4. PROVIDE CORNER BARS IN STRIP FOOTINGS, THE SAME SIZE AND NUMBER AS CONTINUOUS REINFORCEMENT UNLESS NOTED OTHERWISE.
5. WHERE REQUIRED, STEP NEW FOOTINGS UP OR DOWN IN RATIO OF TWO HORIZONTALS TO ONE VERTICAL TO JOIN EXISTING FOOTINGS. CAST STEPPED FOOTINGS MONOLITHICALLY. COORDINATE STEP DIMENSIONS WITH BLOCK COURSING.
6. DOWEL CONCRETE WALLS AND PIERS INTO FOOTINGS WITH DOWELS THE SAME SIZE AND SPACING AS VERTICAL REINFORCEMENT. EXTEND DOWELS TO WITHIN 3" OF BOTTOM OF FOOTING, TERMINATED WITH ACI STD. 90 DEGREE HOOK, UNLESS NOTED OTHERWISE.
7. WHERE REQUIRED, REPAIR OR REPLACE CONCRETE RETAINING WALL AS NEEDED USING INFORMATION SHOWN ON DRAWINGS. PROVIDE #57 STONE WRAPED IN FILTER FABRIC AT ALL WALL

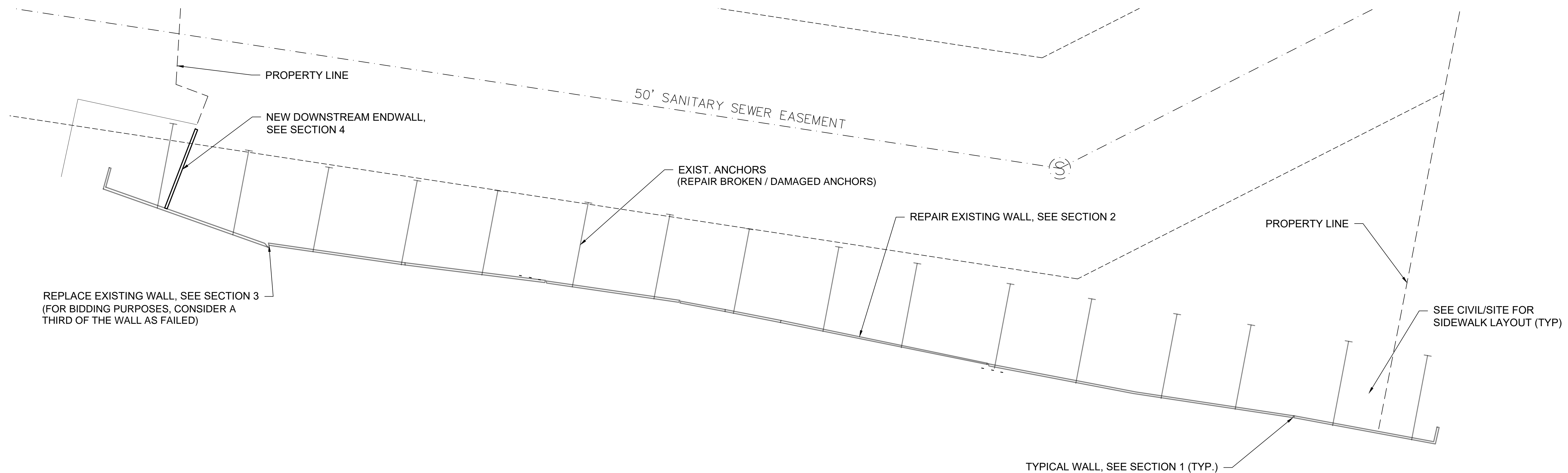
REPAIRS, CRACKS, AND JOINTS.

8. LOCATE AND PROTECT EXISTING WALL TIEBACK ANCHORS FROM DAMAGE DURING CONSTRUCTION AND REPAIRS. IF REPLACEMENTS OR ADDITIONS ARE NEEDED, USE 20,000 LB CAPACITY ANCHORS SPACED AT 10'-0" ON-CENTER. APPROVED PRODUCTS INCLUDE THE FOLLOWING:

- SS5 1.5" RCS HELICAL TIEBACK ANCHOR BY A.B. CHANCE
- MR-2 (PART R61-06) MANTA RAY ANCHOR BY WILLIAMS

BUILDING CODE

DESIGN IS BASED ON THE 2018 INTERNATIONAL BUILDING CODE.



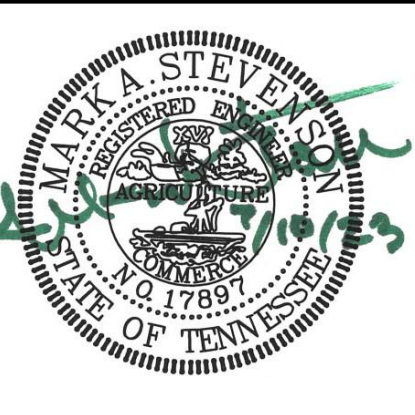
CONC. SEAWALL PLAN

SCALE: NTS

(SEE SURVEY FOR INFORMATION)

bennett & pless
 Experience. Structural. Expertise.
 Atlanta, Knoxville, Orlando, Raleigh
 47 Perimeter Center East, Suite 500
 Atlanta, Georgia 30346
 Tel: 678 980 8700 Fax: 678 980 8701
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 B & P Job No. 23.05.028

STAMP



REVISIONS

NO.	DATE	REMARKS
1	10/17/23	BID LENGTH

PLAN & SECTIONS

Fehn's Sea Wall Repair

Project Street Address
 Project City, State & Zip Code

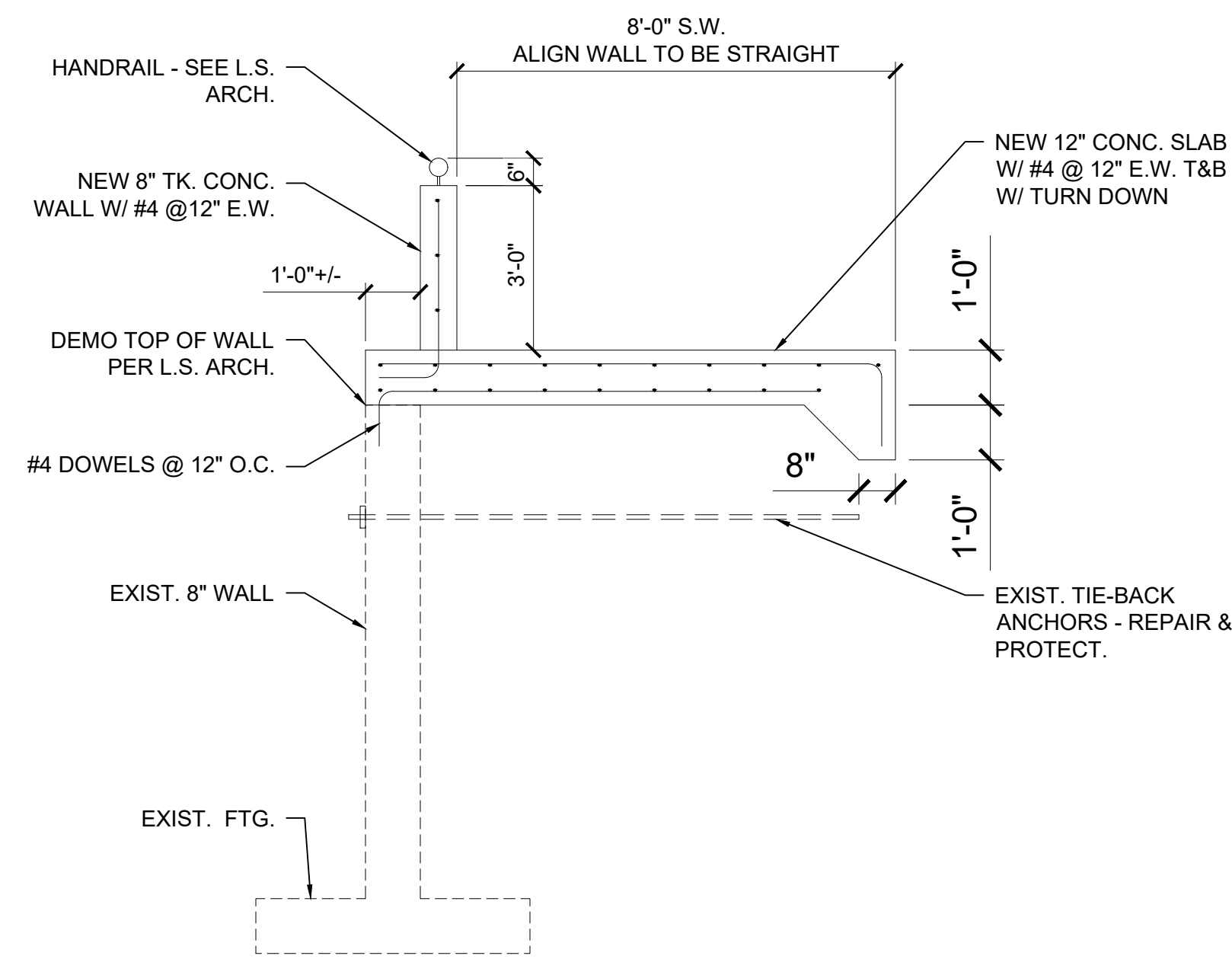
DRAWN BY: W.N.T. REVIEWED BY: STEVENSON

SCALE: As Noted DATE: 07/7/2023

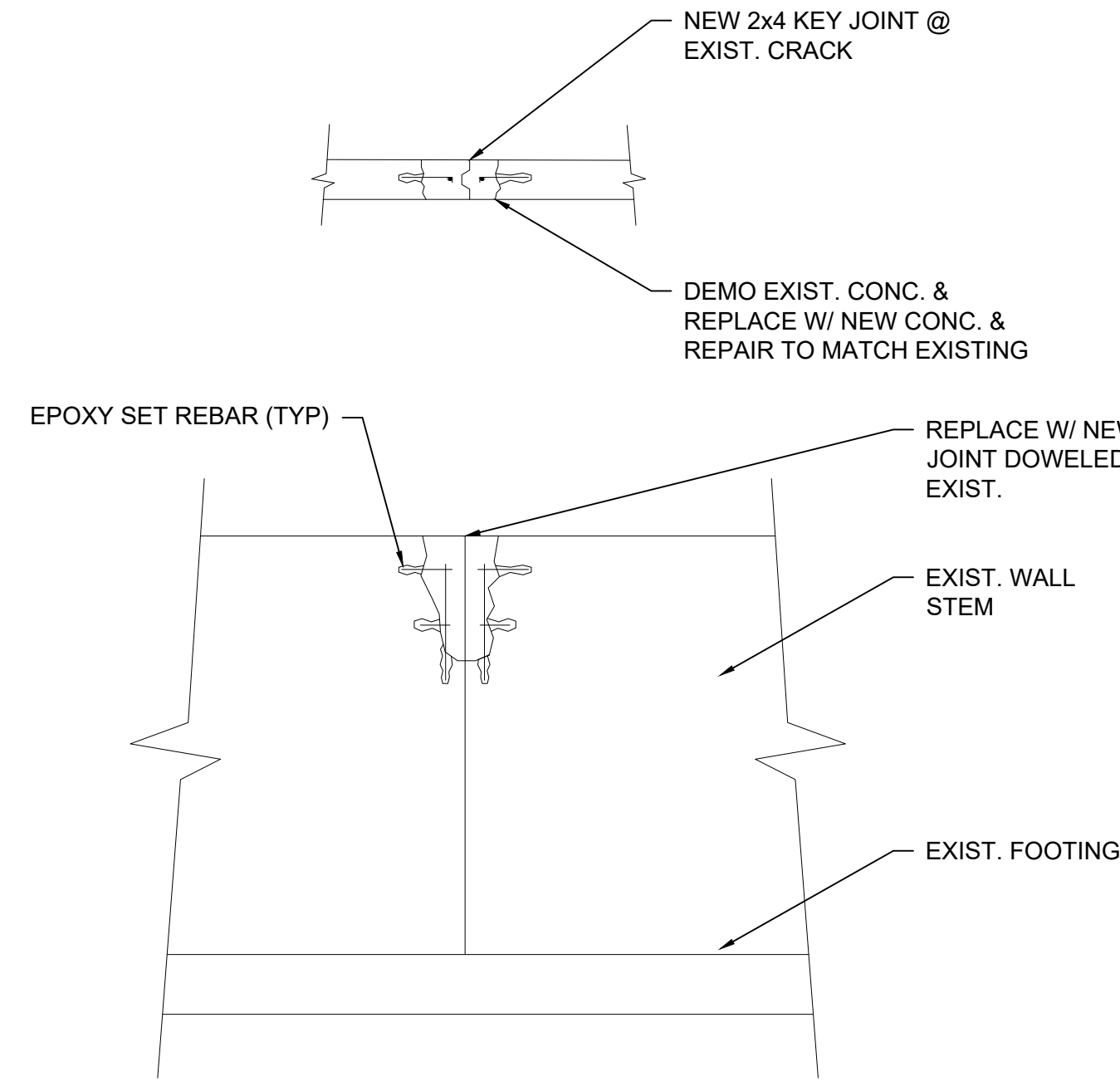
SHEET NUMBER:
S100
 1 of 2

PLOTTED: 7/10/2023 LAST SAVED: 7/10/2023 DRAWING: Seawall Repair Fehn Condo.dwg

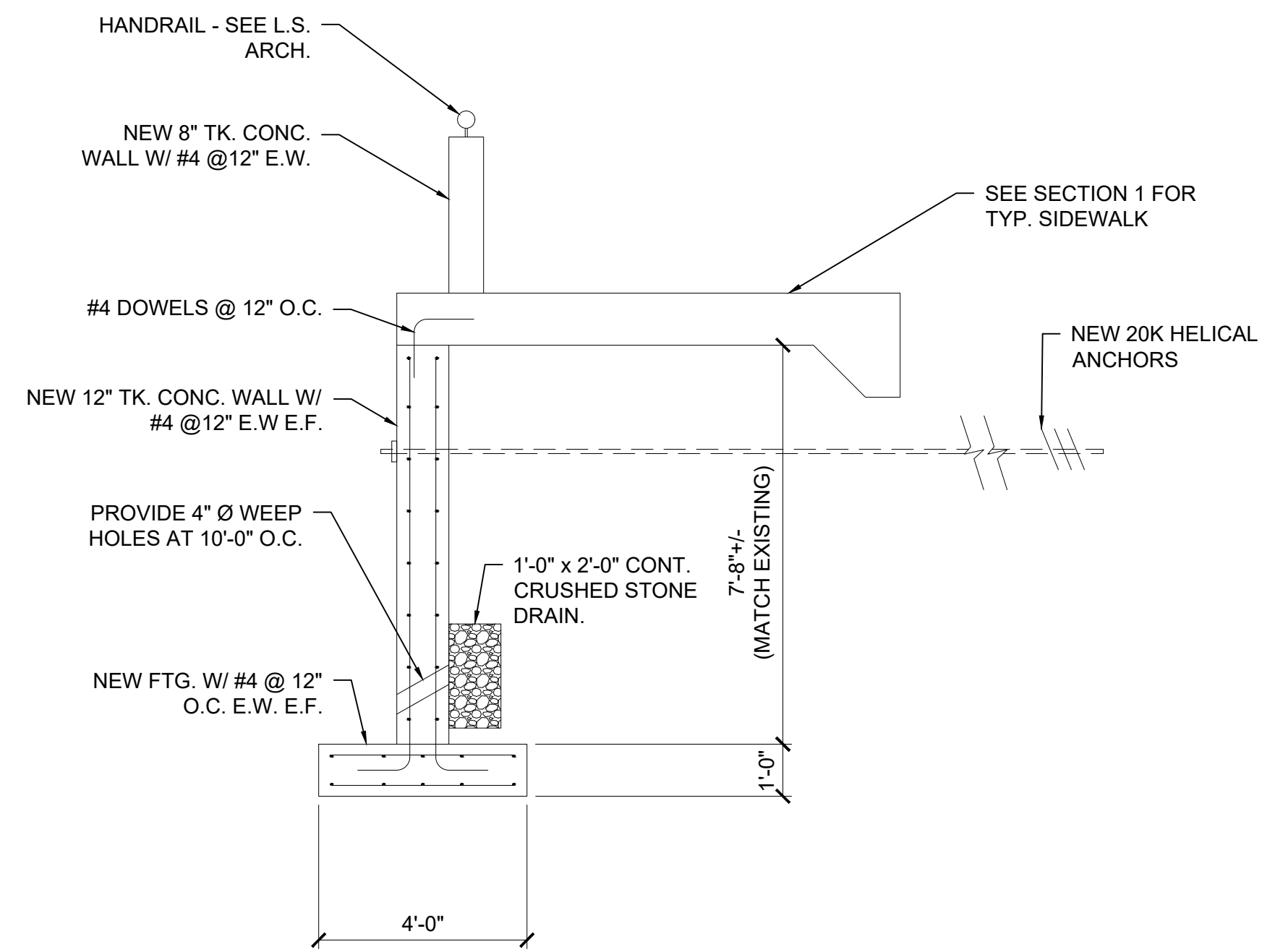
NOT RELEASED FOR CONSTRUCTION



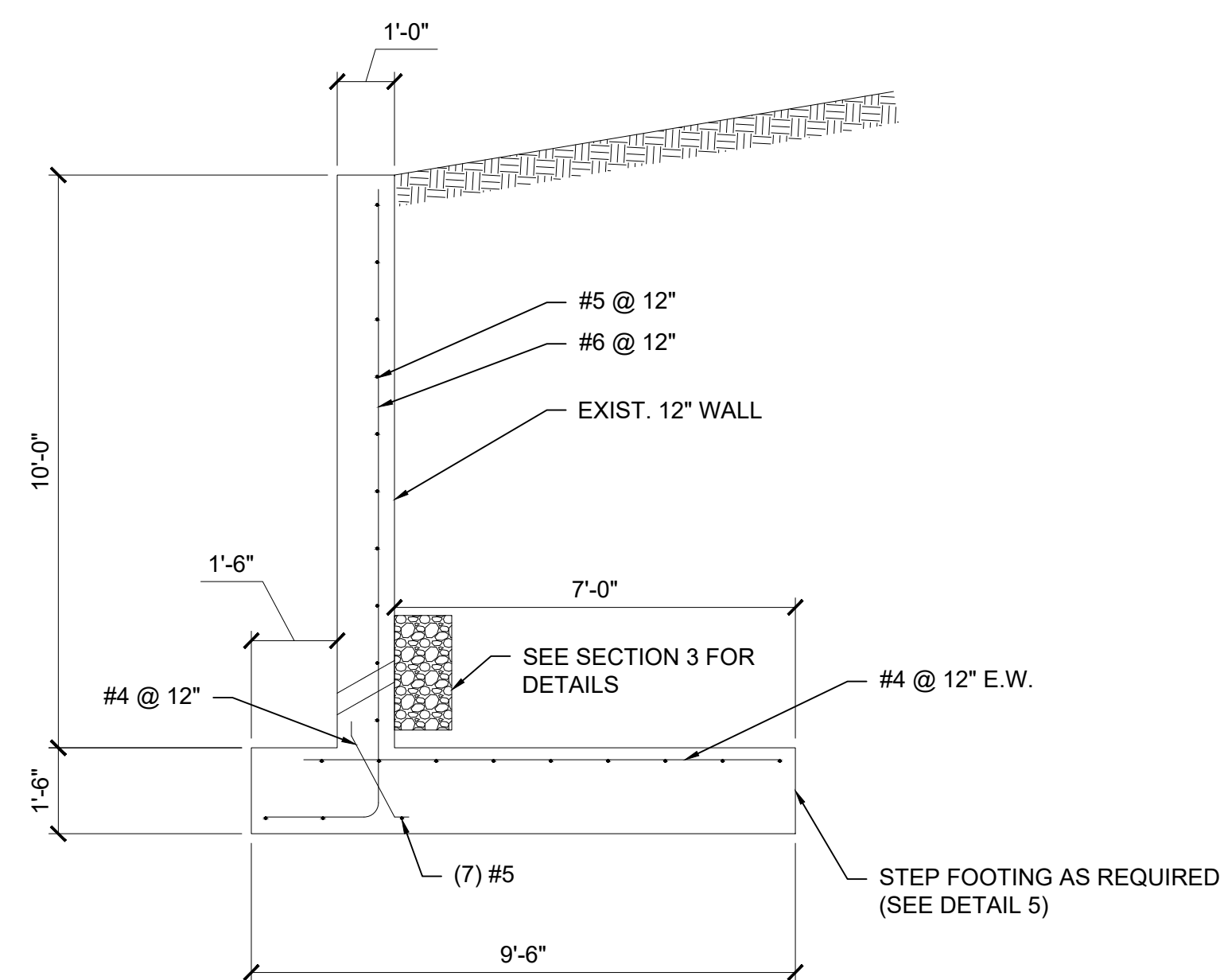
SECTION 1
@ TYPICAL EXIST. WALL
SCALE: 3/8" = 1'-0"
S101



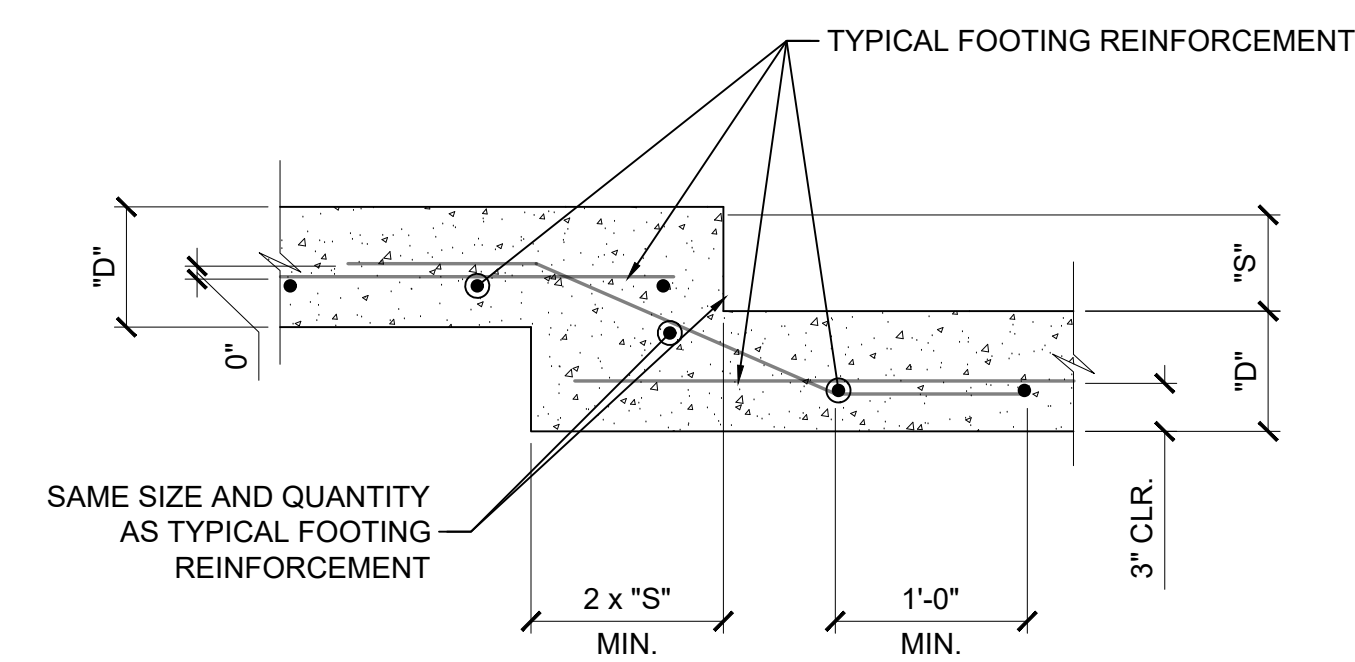
SECTION 2
@ EXIST. CRACK REPAIR
SCALE: 3/8" = 1'-0"
S101



SECTION 3
@ NEW REPLACEMENT WALL
SCALE: 3/8" = 1'-0"
S101



SECTION 4
@ NEW CANTILEVER WALL
SCALE: 3/8" = 1'-0"
S101



DETAIL 5
@ NEW STEP FOOTING
SCALE: 1" = 1'-0"
S101

- NOTES:**
1. REINFORCING SHOWN FOR MASONRY WALL FOOTINGS. SEE SECTIONS AND DETAILS FOR ARRANGEMENT OF REINFORCING IN CONCRETE WALL FOOTINGS.
 2. "S" DIMENSION = 2'-0" MAXIMUM.

STAMP



REVISIONS

NO.	DATE:	REMARKS

SECTIONS & DETAILS

Fehn's Sea Wall Repair

Project Street Address
Project City, State & Zip Code

DRAWN BY: W.N.T. REVIEWED BY: STEVENSON

SCALE: As Noted DATE: 07/10/2023

SHEET NUMBER:

S101

2 of 2

LAND DISTURBING ACTIVITY NOTES:

VEGETATION: TOP SOIL WILL BE SALVAGED, STOCK PILED AND SPREAD ON AREAS TO BE VEGETATED. TREES OUTSIDE OF THE CLEARING LINE WILL BE PROTECTED FROM DAMAGE BY APPROPRIATE MARKINGS. SUPPLEMENTAL VEGETATION WILL BE ESTABLISHED.

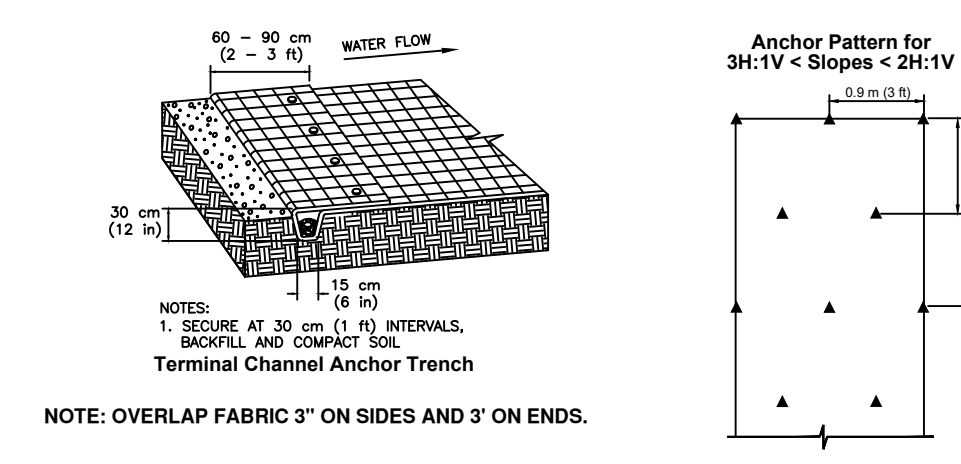
EROSION CONTROL PROGRAM: CLEARING WILL BE KEPT TO A MINIMUM. VEGETATION AND MULCH WILL BE APPLIED TO APPLICABLE AREAS IMMEDIATELY AFTER GRADING IS COMPLETED. LAND DISTURBING WILL BE EMPLOYED TO PREVENT EROSION IN AREAS OF CONCENTRATED WATER FLOWS. EROSION AT THE EXITS OF ALL STORM WATER STRUCTURES WILL BE PREVENTED BY THE INSTALLATION OF STORM DRAIN OUTLET PROTECTION DEVICES.

STANDARDS AND SPECIFICATIONS: ALL DESIGNS WILL CONFORM TO AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICS OF THE PUBLICATION ENTITLED "MANUAL FOR EROSION AND SEDIMENT CONTROL IN TENNESSEE".

SAFETY PROTECTION: CONSTRUCTION ACTIVITIES WILL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS. PERMANENT STORM WATER DETENTION STRUCTURES WILL BE POSTED AND FENCED TO EXCLUDE CHILDREN.

MAINTENANCE PROGRAM: SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSPECTED DAILY. ANY DAMAGES OBSERVED WILL BE REPAIRED BY THE END OF THAT DAY. CLEAN OUT OF SEDIMENT CONTROL STRUCTURES WILL BE ACCOMPLISHED IN ACCORDANCE WITH THE SPECIFICATIONS AND SEDIMENT DISPOSAL ACCOMPLISHED BY SPREADING ON THE SITE. SEDIMENT BASINS AND BARRIERS WILL REMAIN IN PLACE UNTIL SEDIMENT CONTRIBUTING AREAS ARE STABILIZED. SEDIMENT BASINS, THE SEDIMENT FENCES, AND THE BARRIERS WILL THEN BE REMOVED AND THE AREAS OCCUPIED BY THESE STRUCTURES VEGETATED. GUIDELINES FOR THE MAINTENANCE OF ESTABLISHED VEGETATION WILL BE PROVIDED TO THE OWNER WHEN ALL DISTURBED AREAS ARE STABILIZED.

NOTE: EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.



NOTE: TYPICAL INSTALLATION METHODS SHOWN ONLY. CONTRACTOR SHALL INSTALL EROSION CONTROL MATTING PER MANUFACTURER'S INSTRUCTIONS.



EROSION AND SEDIMENT CONTROL NOTES:

- 1. CONTRACTOR IS TO ADHERE TO THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK AND THE BEST MANAGEMENT PRACTICES MANUAL OF THE CITY OF CHATTANOOGA.
- 2. SEDIMENT AND EROSION CONTROL FACILITIES, AND STORM DRAINAGE FACILITIES SHALL BE CONSTRUCTED PRIOR TO ANY OTHER CONSTRUCTION.
- 3. ALL GRADED AREAS SHALL BE STABILIZED WITH A TEMPORARY FAST GROWING COVER AND/OR MULCH, NO LATER THAN 2 WEEKS AFTER EARTH DISTURBING ACTIVITY ENDS IN THOSE AREAS WHERE GRADING ACTIVITY HAS CEASED AND FINE GRADING WILL TAKE PLACE FOR AT LEAST 15 DAYS.

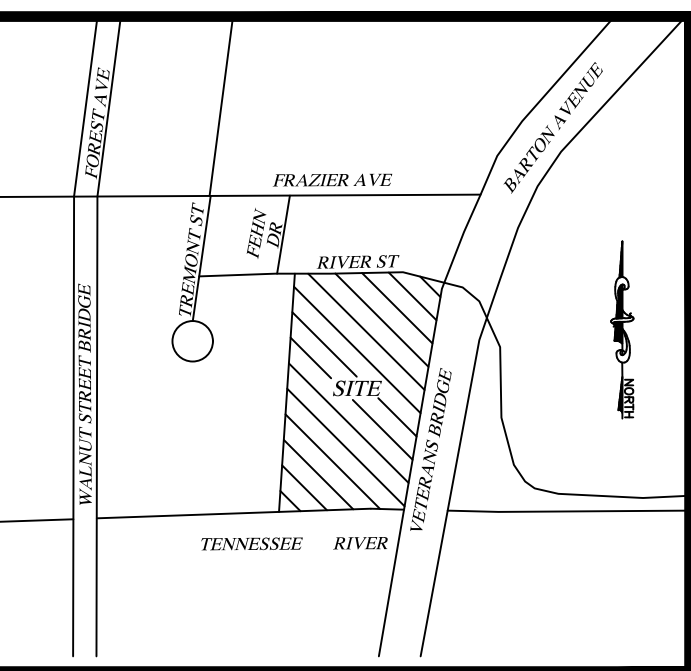
- 17. THE GRADING CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. THE CONTRACTOR SHALL CONTROL DUST BY SPRINKLING, OR BY OTHER METHODS AS DIRECTED BY THE ENGINEER AND/OR OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO OWNER. IN NO CASE SHALL ANY PAVED AREAS BE LESS THAN 1.00% UNLESS OTHERWISE NOTED.
- 18. IT IS THE INTENT OF THIS PROJECT FOR THE CONTRACTOR TO VERIFY AND MATCH EXISTING CONDITIONS UNLESS OTHERWISE NOTED.
- 19. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/ARCHITECT OF ANY ITEMS THAT DO NOT EXIST AS SHOWN. THE CONTRACTOR SHALL REPAIR OR REPLACE IN-KIND ANY DAMAGE THAT OCCURS AS RESULT OF HIS WORK.

NOTE: SITE SHALL BE INSPECTED BY M.A.P. ENGINEERS WITHIN 30 DAYS OF CONSTRUCTION. CONTACT SHALL NOTIFY M.A.P. ENGINEERS IN WRITING.

NOTE: EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

DISTURBED ACREAGE = TOTAL 2.8± ACRES
PRE-CONSTRUCTION IMPERVIOUS ACREAGE = 1.0± ACRES
POST-CONSTRUCTION IMPERVIOUS ACREAGE = 2.1± ACRES
TOTAL SITE ACREAGE = 2.3± ACRES

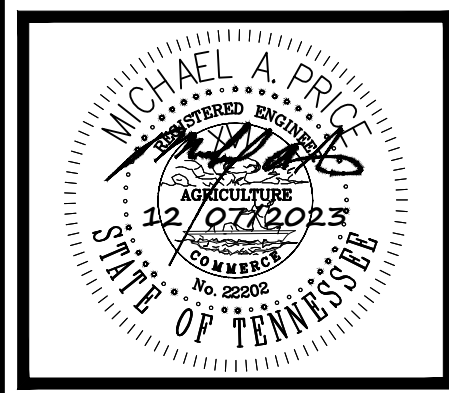
NOTE: ADDITIONAL EROSION CONTROL MEASURES, SUCH AS BUT NOT LIMITED TO, SILT FENCE, CHECK DAMS, SEDIMENT BASINS, EROSION CONTROL FABRIC, EARTHEN BERMS, SHALL BE USED ON SITE AS REQUIRED.



Vicinity Map NOT TO SCALE

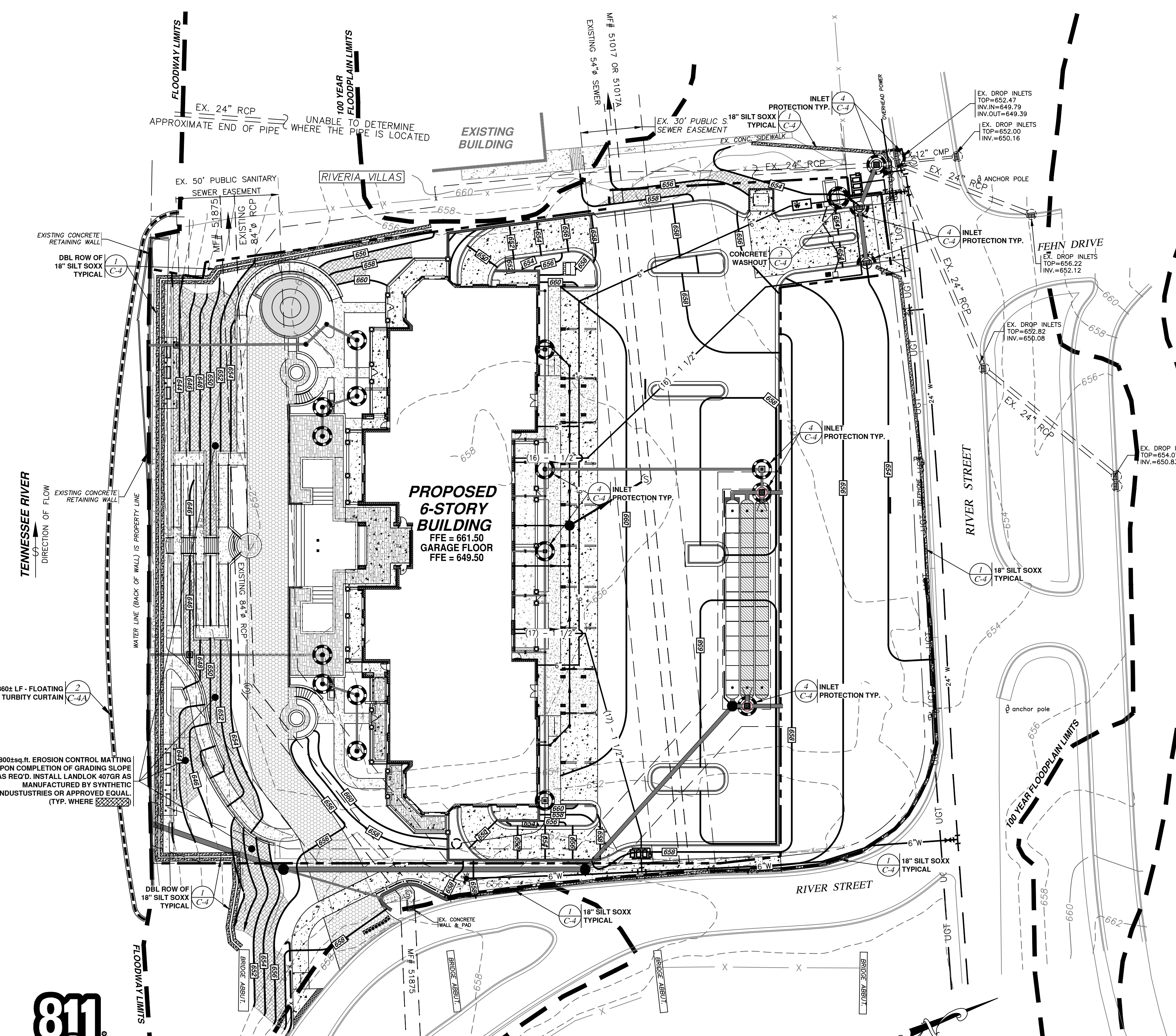
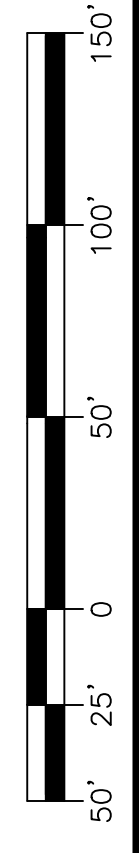
NOTE: SEE WALL PLANS ON SHEET C-2 FOR LOCATIONS OF RETAINING WALLS INCLUDING TOP & BOTTOM OF WALL FINISHED GRADE ELEVATIONS.

NOTE: SITE EROSION & SEDIMENTATION CONTROL MEASURES ARE SIZED TO ACCOMMODATE A 5-YR, 24-HOUR STORM EVENT



TEL: (423) 855-5554
FAX: (423) 466-9119
7390 Applegate Lane
Chattanooga, TN 37421

MAP ENGINEERS L.L.C.
CELEBRATING 27 YEARS

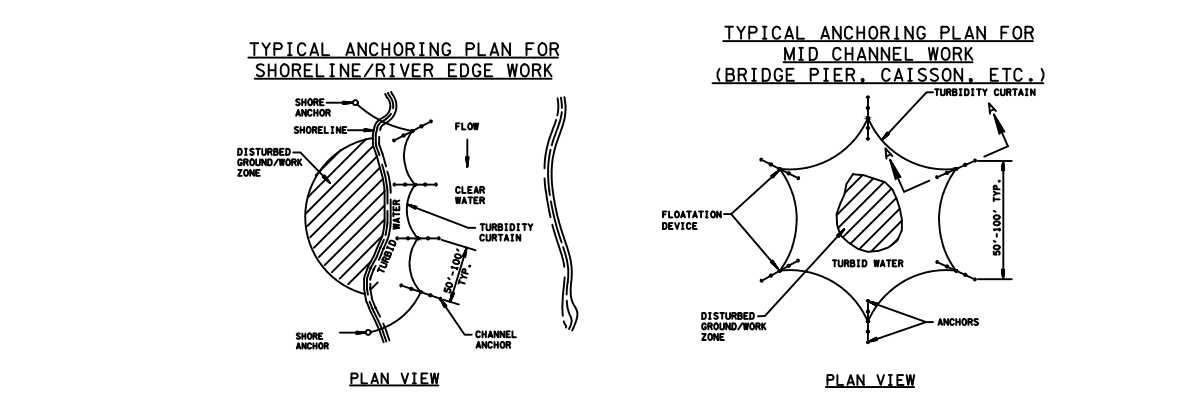
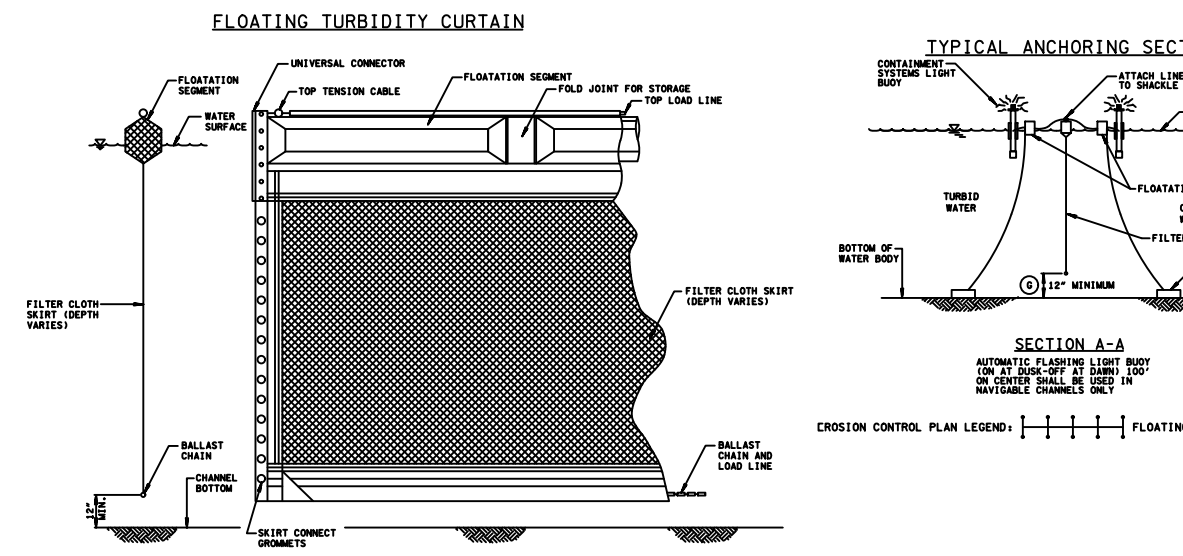


FLOATING TURBIDITY CURTAIN GENERAL NOTES

1. FLOATING TURBIDITY CURTAIN SHALL BE INSTALLED PERPENDICULAR TO THE DIRECTION OF FLOW.	2. THE TURBIDITY CURTAIN AND ADJACENT WORK AREAS SHALL NOT BE DISTURBED BY EXCESSIVE TRAFFIC OR OTHER ACTIVITIES THAT MAY BE NEARBY.
3. TURBIDITY CURTAIN SHALL BE INSTALLED PERPENDICULAR TO THE DIRECTION OF FLOW.	4. TURBIDITY CURTAIN SHALL BE INSTALLED PERPENDICULAR TO THE DIRECTION OF FLOW.

PHYSICAL PROPERTIES OF TURBIDITY CURTAIN FABRIC

PROCESSED POLYPROPYLENE	PROCESSED POLYPROPYLENE
THICKNESS: .0025"	PROCESSED POLYPROPYLENE
WEIGHT: 1.2 LB. / SQ. YD.	PROCESSED POLYPROPYLENE
UV STABILIZED	PROCESSED POLYPROPYLENE
APPROXIMATE SIZE: 10' x 10'	PROCESSED POLYPROPYLENE



DETAIL: FLOATING TURBIDITY CURTAIN SCALE: NONE

811
Know what's below.
Call before you dig.

Final Erosion Control Plan SCALE: 1" = 30'

- PHASE II ONSTRUCTION ACTIVITIES
- MAINTAIN PHASE II EROSION CONTROL MEASURES AS REQUIRED
 - OWNER AND CONTRACTOR SHALL MAINTAIN / INSPECT EXISTING EROSION CONTROL MEASURES AS REQUIRED
 - INSTALL STORM DRAINAGE STRUCTURES AND PIPES AS INDICATED
 - INSTALL TEMPORARY INLET PROTECTION AT ALL STRUCTURES
 - INSTALL CONCRETE WASHOUT AREA
 - INSTALL SITE UTILITIES
 - IMPLEMENT ADDITIONAL MEASURES AS REQUIRED PER THIS PLAN
 - ALL DISTURBED AREA SHALL BE SEEDED, STRAWED AND/OR MATTED AS REQUIRED.
 - COMPLETE PAVING PER CONSTRUCTION DOCUMENTS.
 - INLET/OUTLET PROTECTION AND SILT FENCE TO BE REMOVED ONCE ALL LAND DISTURBANCE ACTIVITIES ARE COMPLETED.
 - INSTALL EROSION CONTROL MATTING ONCE FINAL GRADING ACTIVITIES HAVE BEEN COMPLETED.

Revision #2: REMOVE REVIEW NOTE
Revision #3: ADD FLOATING TURBIDITY CURTAIN & DETAIL

RIVER STREET LUXURY CONDOMINIUMS
FOR: DEFOR BROTHERS
801 BROAD STREET, STE. 200
CHATTANOOGA, TN 37402

FINAL EROSION CONTROL PLAN

REVISIONS
1 CITY COMMENTS 5/15/23
2 CITY COMMENTS 6/09/23
3 TDEC ARAP 12/07/23
4
5

FILE: 14179_DwgSet.dwg

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DATE: 2/24/23
DRAWN BY: CBA
CHECKED BY: MAP
PROJ. NUMBER: 14-179
SHEET NUMBER: C-4A

FW: [EXTERNAL] Re: 600 River Street (MAP# 14-179) -ARAP Question

Jennifer Innes <Jennifer.Innes@tn.gov>

Wed 12/13/2023 8:20 AM

To: Cali Calderwood <Cali.Calderwood@tn.gov>; Hannah L. Biggs <Hannah.L.Biggs@tn.gov>

📎 1 attachments (7 MB)

14179_ARAP Application_12-12-23.pdf;

Please upload and assign to Jason.

Thanks

From: Brett Tabor <BTabor@EPBFI.com>

Sent: Tuesday, December 12, 2023 5:17 PM

To: Jennifer Innes <Jennifer.Innes@tn.gov>; Jason Dees <Jason.Dees@tn.gov>

Cc: Chris Aslinger <caslinger@epbfi.com>; mccallprice@epbfi.com; Mike Price <mikeprice@epbfi.com>; Ken Defoor Sr. <ken@defoordevelopments.com>; Debbie Graves <debbieg@defoorbrothers.com>

Subject: Re: [EXTERNAL] Re: 600 River Street (MAP# 14-179) -ARAP Question

Jennifer and Jason,

See the attached ARAP application for the proposed repairs to the existing wall. Note the existing USACE permit for the wall requires maintenance and upkeep of the wall as a condition of the permit as required by the NWP.

Please confirm the required fee amount and we will be sure to get a check sent out as well. Call or email with any questions.

Thanks,

Brett Tabor



7380 Applegate Lane

Chattanooga, TN 37421

Phone: (423) 855-5554

Fax: (423) 485-8110

Email: btabor@epbfi.com

On 12/6/2023 2:56 PM, Mike Price wrote:

Jennifer,

Thanks for the response. We will get the application underway and submit the information to you in the next week. Appreciate your help in navigating through this.

Michael A. Price, P.E.



7380 Applegate Lane

Chattanooga, TN 37421

Phone: (423) 855-5554

On 12/6/2023 1:44 PM, Jennifer Innes wrote:

Mike

I think the best thing for now is to go ahead and submit the application, with detailed plans/summaries for us to review. I feel like we just don't have enough information yet to make a call on IP vs GP. We will have to have an exact length for the replacement, or you would have to assume the maximum length possible, for the permit review. Also need more details on the point repairs, does that essentially mean patching cracks/holes etc with concrete?

Thanks

Jennifer

From: Mike Price <mikeprice@epbfi.com>

Sent: Tuesday, December 5, 2023 2:53 PM

To: Jennifer Innes <Jennifer.Innes@tn.gov>; Chris Aslinger <caslinger@epbfi.com>

Subject: [EXTERNAL] Re: 600 River Street (MAP# 14-179) -ARAP Question

Jennifer,

So the exact length is not known until work begins to uncover behind the wall to see what is out there. But the guesstimate is approximately 100 linear feet of wall to be replaced. Let me know if that qualifies under a general permit. Thanks

Michael A. Price, P.E.



7380 Applegate Lane

Chattanooga, TN 37421
Phone: (423) 855-5554

On 12/4/2023 11:54 AM, Jennifer Innes wrote:

Not yet but working on it. Can you give me the exact length of the section of wall that would be replaced? Plans say 1/3.
Thanks
Jennifer

From: Mike Price <mikeprice@epbfi.com>
Sent: Monday, December 4, 2023 11:50 AM
To: Jennifer Innes <Jennifer.Innes@tn.gov>; Chris Aslinger <caslinger@epbfi.com>
Subject: Re: Fwd: Fwd: [EXTERNAL] Fwd: 600 River Street (MAP# 14-179)

Jennifer,
Any updates here? Thanks

Michael A. Price, P.E.



7380 Applegate Lane
Chattanooga, TN 37421
Phone: (423) 855-5554

On 11/29/2023 9:00 AM, Jennifer Innes wrote:

Hi Chris
The replacement or repair of a sea wall, if it is on the riverbank, will require ARAP coverage. Looking at the google aerial photo for this address, it appears it is along the riverbank.
If no work on the actual wall or river bank were to occur, and it was just backfilling with soil behind it, that would not likely require ARAP coverage.
Thanks
Jennifer

From: Chris Aslinger <caslinger@epbfi.com>
Sent: Tuesday, November 28, 2023 3:06 PM
To: Jennifer Innes <Jennifer.Innes@tn.gov>
Subject: Fwd: Fwd: Fwd: [EXTERNAL] Fwd: 600 River Street (MAP# 14-179)

----- Forwarded Message -----

Subject: Fwd: Fwd: [EXTERNAL] Fwd: 600 River Street (MAP# 14-179)
Date: Tue, 28 Nov 2023 07:52:04 -0500
From: Chris Aslinger <caslinger@epbfi.com>
To: Jennifer Innes <jennifer.innes@tn.gov>
CC: Mike Price <mikeprice@epbfi.com>, Mccall Price <mccallprice@epbfi.com>

Jennifer,

Please see the Seawall repair for the above referenced project.

Should you have any questions please contact me.

Thanks,

Chris Aslinger



7380 Applegate Lane
Chattanooga, TN 37421
Phone: (423) 855-5554
Fax: (423) 485-8110
Email: caslinger@epbfi.com

----- Forwarded Message -----

Subject:Fwd: [EXTERNAL] Fwd: 600 River Street (MAP# 14-179)
Date:Mon, 20 Nov 2023 14:13:03 -0500
From:Chris Aslinger <caslinger@epbfi.com>
To:Jennifer Innes <jennifer.innes@tn.gov>
CC:Mike Price <mikeprice@epbfi.com>, Mccall Price <mccallprice@epbfi.com>

Jennifer,

Sorry for the delay, I needed to get the latest file to forward to you.

Should you have any questions please contact me.

Thanks,

Chris Aslinger



7380 Applegate Lane
Chattanooga, TN 37421
Phone: (423) 855-5554
Fax: (423) 485-8110
Email: caslinger@epbfi.com

----- Forwarded Message -----

Subject:Re: [EXTERNAL] Fwd: 600 River Street (MAP# 14-179)
Date:Fri, 17 Nov 2023 14:48:47 -0500
From:Mike Price <mikeprice@epbfi.com>
To:Jennifer Innes <jennifer.innes@tn.gov>, Chris Aslinger <caslinger@epbfi.com>
CC:Brett Tabor <btabor@epbfi.com>, Mccall Price <mccallprice@epbfi.com>

Jennifer,

Chris will forward what we have on the plans here before end of the day. If you need anything else, let me know. Thanks

Michael A. Price, P.E.



7380 Applegate Lane
Chattanooga, TN 37421
Phone: (423) 855-5554

On 11/17/2023 2:08 PM, Jennifer Innes wrote:

Hi Mike

Sorry I've been out for a few days. Can you please email me any drawing/info you have on the wall repair? If the wall itself is on the riverbank and needs repair, that might need at least a maintenance ARAP. If its just a matter of filling in behind the wall, likely not, but I need more info.

Thanks

Jennifer

From: Mike Price <mikeprice@epbfi.com>
Sent: Tuesday, November 14, 2023 9:11 AM
To: Jennifer Innes <jennifer.innes@tn.gov>
Cc: Brett Tabor <btabor@epbfi.com>; Mccall Price <mccallprice@epbfi.com>
Subject: [EXTERNAL] Fwd: 600 River Street (MAP# 14-179)

***** This is an EXTERNAL email. Please exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email - STS-Security. *****

Jennifer,

When you get this email, can you call me please? 280-9170. Thanks

Sent from my iPhone

Begin forwarded message:

From: "Perkins, Timothy Ryan" <trperkins2@tva.gov>
Date: November 14, 2023 at 8:39:32 AM EST
To: Mike Price <mikeprice@epbf.com>
Subject: RE: 600 River Street (MAP# 14-179)

Mr. Price,

Thank you for the document, just what NEPA was looking for. TVA will need you're a 401 WQC from TDEC Prior to issuing our permit that includes the wall. NEPA is recommending that you seek concurrence with TDEC for the wall repair since it is not covered under the general ARAP nor your current 401 WQC that was provided to TVA.

Please note that our offices cannot accommodate walk-in visitors. Meetings are by appointment only. To more quickly begin the review of your request for a Section 26a permit or to learn more about TVA, please [apply online](#) or visit TVA.com. All hard copy applications should be mailed to: Tennessee Valley Authority, 400 West Summit Hill Drive, WT 11D-K, Knoxville, TN 37902.

Timothy Perkins
Watershed Representative
Natural Resources



E. trperkins2@tva.gov
4601 North Access Road, Building B Chattanooga, TN 37415

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From: Mike Price <mikeprice@epbf.com>
Sent: Monday, November 13, 2023 4:43 PM
To: Perkins, Timothy Ryan <trperkins2@tva.gov>
Subject: Re: 600 River Street (MAP# 14-179)

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Thanks

Sent from my iPhone

On Nov 13, 2023, at 3:57 PM, Perkins, Timothy Ryan <trperkins2@tva.gov> wrote:

My Apologies I seemed to have missed your response. I found it now. I'll et it over to NEPA

Please note that our offices cannot accommodate walk-in visitors. Meetings are by appointment only. To more quickly begin the review of your request for a Section 26a permit or to learn more about TVA, please [apply online](#) or visit TVA.com. All hard copy applications should be mailed to: Tennessee Valley Authority, 400 West Summit Hill Drive, WT 11D-K, Knoxville, TN 37902.

Timothy Perkins
Watershed Representative
Natural Resources

<image001.png>

E. trperkins2@tva.gov

4601 North Access Road, Building B Chattanooga, TN 37415

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From: Mike Price <mikeprice@epbfi.com>
Sent: Monday, November 13, 2023 3:55 PM
To: Perkins, Timothy Ryan <trperkins2@tva.gov>
Subject: Re: 600 River Street (MAP# 14-179)

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I already responded. What are you missing?

Sent from my iPhone

On Nov 13, 2023, at 3:42 PM, Perkins, Timothy Ryan <trperkins2@tva.gov> wrote:

Mr. Price following up on this.

Please note that our offices cannot accommodate walk-in visitors. Meetings are by appointment only. To more quickly begin the review of your request for a Section 26a permit or to learn more about TVA, please [apply online](#) or visit TVA.com. All hard copy applications should be mailed to: Tennessee Valley Authority, 400 West Summit Hill Drive, WT 11D-K, Knoxville, TN 37902.

Timothy Perkins

Watershed Representative
Natural Resources

<image001.png>

E. trperkins2@tva.gov

4601 North Access Road, Building B Chattanooga, TN 37415

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From: Perkins, Timothy Ryan
Sent: Monday, November 6, 2023 11:44 AM
To: 'Mike Price' <mikeprice@epbfi.com>
Subject: RE: 600 River Street (MAP# 14-179)

Mr. Price,

Do you have a copy of the City of Chattanooga floodplains concurrence for this project? Are the wall repairs critical to your construction at this time or could they be postponed and be requested at a later date?

Please note that our offices cannot accommodate walk-in visitors. Meetings are by appointment only. To more quickly begin the review of your request for a Section 26a permit or to learn more about TVA, please apply [online](#) or visit [TVA.com](#). All hard copy applications should be mailed to: Tennessee Valley Authority, 400 West Summit Hill Drive, WT 11D-K, Knoxville, TN 37902.

Timothy Perkins

Watershed Representative
Natural Resources

<image001.png>

E. trperkins2@tva.gov

4601 North Access Road, Building B Chattanooga, TN 37415

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From: Perkins, Timothy Ryan
Sent: Tuesday, October 10, 2023 1:58 PM
To: Mike Price <mikeprice@epbfi.com>
Cc: Chris Aslinger <caslinger@epbfi.com>; Debbie Graves <Debbieg@defoorbrothers.com>; Ken DeFoor <ken@defoordevelopments.com>; mccallprice@epbfi.com
Subject: RE: 600 River Street (MAP# 14-179)

NEPA is requesting your plans for shoring up the wall. They stated the NOC provided is for general stormwater discharges associated with construction activities and they cannot conclude that it is sufficient for the shoring up of the wall without knowing exactly what will be done.

Please note that our offices cannot accommodate walk-in visitors. Meetings are by appointment only. To more quickly begin the review of your request for a Section 26a permit or to learn more about TVA, please apply [online](#) or visit [TVA.com](#). All hard copy applications should be mailed to: Tennessee Valley Authority, 400 West Summit Hill Drive, WT 11D-K, Knoxville, TN 37902.

Timothy Perkins

Watershed Representative
Natural Resources

<image001.png>

E. trperkins2@tva.gov

4601 North Access Road, Building B Chattanooga, TN 37415

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From: Mike Price <mikeprice@epbfi.com>
Sent: Tuesday, October 10, 2023 12:06 PM
To: Perkins, Timothy Ryan <trperkins2@tva.gov>
Cc: Chris Aslinger <caslinger@epbfi.com>; Debbie Graves <Debbieg@defoorbrothers.com>; Ken DeFoor

<ken@defoordevelopments.com>;

mccallprice@epbf.com

Subject: Re: 600 River Street (MAP# 14-179)

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Mr. Perkins,

Please see attached permits per your request. Call or email with any questions.

Michael A. Price, P.E.

<image002.jpg>

7380 Applegate Lane
Chattanooga, TN 37421
Phone: (423) 855-5554

On 10/10/2023 11:31 AM, Perkins, Timothy Ryan wrote:

Can you send me a copy of the NOC?

Please note that our offices cannot accommodate walk-in visitors. Meetings are by appointment only. To more quickly begin the review of your request for a Section 26a permit or to learn more about TVA, please [apply online](#) or visit [TVA.com](#). All hard copy applications should be mailed to: Tennessee Valley Authority, 400 West Summit Hill Drive, WT 11D-K, Knoxville, TN 37902.

Timothy Perkins

Watershed Representative
Natural Resources

<image001.png>

E. trperkins2@tva.gov

4601 North Access Road, Building B
Chattanooga, TN 37415

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From: Mike Price <mikeprice@epbf.com>

Sent: Tuesday, October 10, 2023 11:11 AM

To: Perkins, Timothy Ryan

trperkins2@tva.gov

Cc: Chris Aslinger <caslinger@epbf.com>

Debbie Graves

<Debbieg@defoorbrothers.com>; Ken

DeFoor <ken@defoordevelopments.com>;

mccallprice@epbf.com

Subject: Re: 600 River Street (MAP# 14-179)

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Mr. Perkins,
Thanks for the two questions. Answers as follows:
1) Wall maintenance activities should not produce any new discharges into the river. The intent is to shore up the existing retaining wall to prevent it from collapsing if no work were to occur; thereby causing erosion and soil to be dumped into the river.
2) I have not contacted TDEC specifically on this issue, nor do I believe there is a need to as the work is behind the wall and no earth moving activities are on the river side of the wall. Our plans show sufficient erosion control measures to occur along the top and behind the wall and TDEC has issued a **Notice of Coverage** for the site which reflects this work.
Please call or email with any questions.

Michael A. Price, P.E.

<image002.jpg>

**7380 Applegate Lane
Chattanooga, TN 37421
Phone: (423) 855-5554**

On 10/10/2023 8:54 AM, Perkins, Timothy Ryan wrote:

Mr. Price,

NEPA is requesting information on the seawall maintenance. When I was on site for the site inspection Men were digging along the shoreline and I was informed that they were looking for the wall anchors to do maintenance on the seawall. NEPA has two questions.

1. Will the wall maintenance produce any new discharge into the river?
2. Have you contacted TDEC about the maintenance?

Please note that our offices cannot accommodate walk-in visitors. Meetings are by appointment only. To more quickly begin the review of your request for a Section 26a permit or to learn more about TVA, please [apply online](#) or visit [TVA.com](#). All hard copy applications should be mailed to: Tennessee Valley Authority, 400 West Summit Hill Drive, WT 11D-K, Knoxville, TN 37902.

Timothy Perkins
Watershed Representative
Natural Resources

<image001.png>

E. trperkins2@tva.gov

4601 North Access Road, Building
B Chattanooga, TN 37415

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From: Mike Price

[<mikeprice@epbfi.com>](mailto:mikeprice@epbfi.com)

Sent: Monday, September 25,
2023 9:28 AM

To: Perkins, Timothy Ryan

[<trperkins2@tva.gov>](mailto:trperkins2@tva.gov)

Cc: Brett Tabor

[<BTabor@epbfi.com>](mailto:BTabor@epbfi.com); Falco,

John Michael

[<jfalco@tva.gov>](mailto:jfalco@tva.gov); Ken Defoor
Sr.

[<ken@defoordevelopments.com>](mailto:ken@defoordevelopments.com); kaitlin

[<kaitlin@craigdesigngroup.com>](mailto:kaitlin@craigdesigngroup.com)

DavidH@artechdgn.com;

brianl@artechdgn.com;

tireland@bennett-pless.com;

Glen Craig

[<glen@craigdesigngroup.com>](mailto:glen@craigdesigngroup.com)

; Debbie Graves

[<debbieg@defoorbrothers.com>](mailto:debbieg@defoorbrothers.com)

Subject: Re: 600 River Street
(MAP# 14-179)

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Tim,

Thank you for the update.

Please bear in mind at all permits have been issued by the City of Chattanooga and State. This is the last thing we're waiting on.

Mike Price

Sent from my iPhone

On Sep 25, 2023,
at 9:02 AM,
Perkins, Timothy
Ryan
<trperkins2@tva.gov> wrote:

Mr. Price

We have completed the majority of the CEC review process and the consultation with the SHPO has been finished. The NEPA target for the completion of the Abbreviated EA is still mid November. I apologize, but I just noticed that on my 9/8 email I switched the Months around on the estimated due dates. The dates in my 7/11 email are the correct ones.

Please note that our offices cannot accommodate walk-in visitors. Meetings are by appointment only. To more quickly begin the review of your request for a Section 26a permit or to learn more about TVA, please apply online or visit [TVA.com](https://www.tva.com). All hard copy applications should be mailed to:

Tennessee Valley Authority, 400 West Summit Hill Drive, WT 11D-K, Knoxville, TN 37902.

Timothy Perkins
Watershed
Representative
Natural
Resources

<image001.png>

E.
trperkins2@tva.gov
4601 North Access
Road, Building B
Chattanooga, TN
37415

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From: Mike Price <mikeprice@epbfj.com>
Sent: Friday, September 22, 2023 11:17 AM
To: Perkins, Timothy Ryan <trperkins2@tva.gov>; Brett Tabor <BTabor@EPBFJ.com>; Falco, John Michael <jfalco@tva.gov>
Cc: Ken Defoor Sr. <ken@defoordevelopments.com>;

kaitlin
kaitlin@craigdesigngroup.com;
davidh@artechdgn.com;
brianl@artechdgn.com;
tireland@bennett-pless.com; Glen
 Craig
Glen@craigdesigngroup.com;
 Debbie Graves
debbieg@defoobrothers.com
Subject: Re: 600
 River Street
 (MAP# 14-179)

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Tim & John,
 Following back
 up on my email
 of 9/19/23 to see
 if the State
 Historic
 Preservation
 Office has signed
 off yet?

Michael A. Price,
 P.E.
 <image002.jpg>

**7380 Applegate
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 Chattanooga, TN
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 Phone: (423)
 855-5554**

On 9/19/2023
 9:40 AM, Mike
 Price wrote:

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Subject:RE: 600 River Street
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Date:Wed, 28 Jun 2023
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From:Perkins, Timothy Ryan
[<trperkins2@tva.gov>](mailto:trperkins2@tva.gov)
To:BTabor@epbf.com
[<BTabor@epbf.com>](mailto:BTabor@epbf.com)
CC:Falco, John Michael
[<jfalco@tva.gov>](mailto:jfalco@tva.gov)

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