



TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION

Division of Water Resources

William R. Snodgrass Tennessee Tower, 312 Rosa L. Parks Avenue, 11th Floor, Nashville, Tennessee 37243

1-888-891-0772 (DEC)

RECEIVED

Notice of Intent (NOI) for General NPDES Permit for Stormwater Discharges from Construction Activities (TNR100000)

Site or Project Name: Brentwood Lofts		NPDES Tracking Number: TNR
Street Address or Location: 1638 Bell Rd.		Construction Start Date: 5/1/2019
Site Description: Multi Family Residential		Estimated End Date: 5/1/2020
County(ies): Davidson		Latitude (dd.dddd): 36.04476
MS4 (if applicable):		Longitude (-dd.dddd): -86.7001
Check box if a SWPPP is attached: <input type="checkbox"/>		Acres Disturbed: 2.87
Check box if a site location map is attached: <input type="checkbox"/>		Total Acres: 4.55
Check the appropriate box(s) if there are streams and/or wetlands on or adjacent to the construction site: Streams <input type="checkbox"/> Wetlands <input type="checkbox"/>		
Has a jurisdictional determination been made by the USACE or EPA identifying waters of the United States?: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
Note: if yes, attach the jurisdictional determination		
If an Aquatic Resource Alteration Permit (ARAP) has been obtained for this site, what is the permit number? NR(S)		
Receiving waters: Whittemore Branch		

Site Owner/Developer (Primary Permittee): (Provide person, company, or entity that has operational or design control over construction plans and specifications): Norwood Properties, LLC

For corporate entities only, provide correct Tennessee Secretary of State (SOS) Control Number: 000861810 (an incorrect SOS control number may delay NOI processing)

Site Owner or Developer Contact Name: (signs the certification below) Dan McVicker	Title or Position: Owner
Mailing Address: 5344 Stanford Dr.	City: Nashville State: TN Zip: 37215
Phone: (615) 479-1967 Fax: ()	E-mail: dan@norwoodproperties.net

Optional Contact: Adam Seger	Title or Position: Civil Engineer
Mailing Address: 516 Heather Pl.	City: Nashville State: TN Zip: 37204
Phone: (615) 297-5166 Fax: ()	E-mail: adam@daleandassociates.net

Owner/Developer(s) Certification: (must be signed by president, vice-president or equivalent, or ranking elected official) (Primary Permittee)

I certify under penalty of law that this document and all attachments were prepared by me, or under my direction or supervision. The submitted information is to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment. As specified in Tennessee Code Annotated Section 39-16-702(a)(4), this declaration is made under penalty of perjury.

Owner/Developer Name (print/type): Dan McVicker	Signature: [Signature]	Date: 3/18/20
Owner/Developer Name (print/type):	Signature:	Date:

Contractor Certification: (must be signed by president, vice-president or equivalent, or ranking elected official) (Secondary Permittee)

I certify under penalty of law that I have reviewed this document, any attachments, and the SWPPP referenced above. Based on my inquiry of the construction site owner/developer identified above and/or my inquiry of the person directly responsible for assembling this NOI and SWPPP, I believe the information submitted is accurate. I am aware that this NOI, if approved, makes the above-described construction activity subject to NPDES permit number TNR100000, and that certain of my activities on-site are thereby regulated. I am aware that there are significant penalties, including the possibility of fine and imprisonment for knowing violations, and for failure to comply with these permit requirements. As specified in Tennessee Code Annotated Section 39-16-702(a)(4), this declaration is made under penalty of perjury.

Contractor name, address, and SOS control number (if applicable):	Signature:	Date:
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OFFICIAL STATE USE ONLY

Received Date: 3-19-19	Reviewer:	Field Office: 04	Permit Tracking Number: TNR 243334	Exceptional TN Water:
Fee(s): 250.	T & E Aquatic Flora/Fauna:	SOS Corporate Status:	Waters with Unavailable Parameters:	Notice of Coverage Date:

HOLD TO LIGHT TO VIEW TRUE WATERMARK IN PAPER HEAT SENSITIVE RED LOCK DISAPPEARS WHEN HEATED

RAMSTON DEVELOPMENT COMPANY

1033 DEMONBREUN ST STE 300
NASHVILLE, TN 37203

1002

PAY
TO THE
ORDER OF

TN Dept. of Environment + Conservation

DATE 3/14/19

87-863/640

Two hundred and fifty and no/100 \$ 250

DOLLARS

PinnacleSM

FOR No I Application

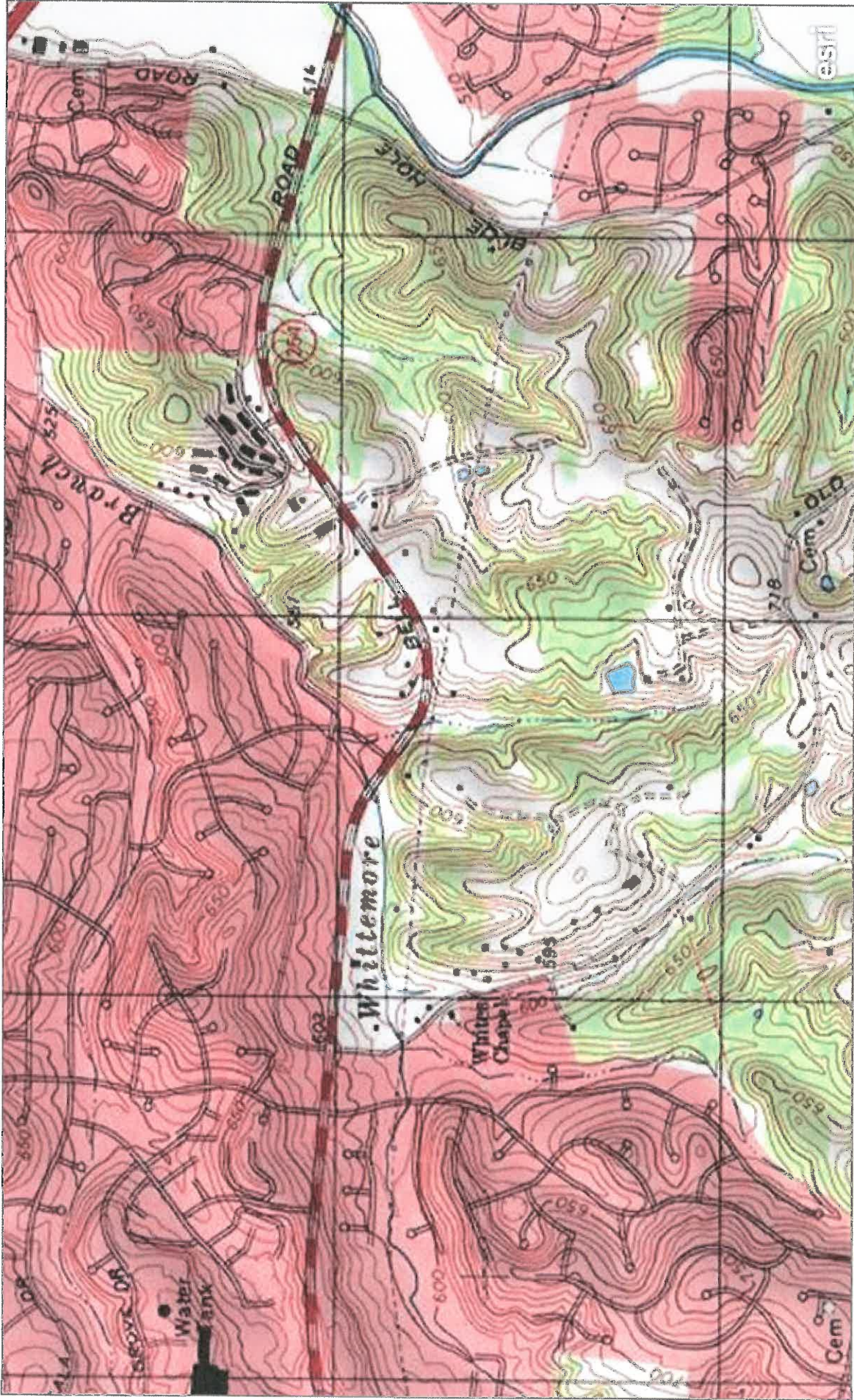


By Byron A. Jd



Details on back Security Features

My Map



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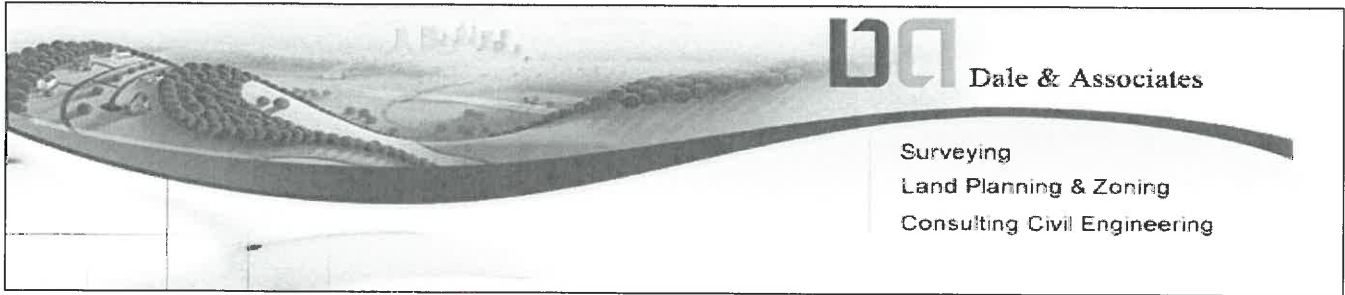
Copyright: © 2013 National Geographic Society, i-cubed

My Map



200ft

Rutherford County, TN, Microsoft



STORM WATER POLLUTION PREVENTION PLAN
(Brentwood Loftis)

SWPPP Requirements

- 1.1. Has the SWPPP template been prepared by an individual that has the following certifications (3.1.1) Yes No (check all that apply below)
- 1.1.1.1. Certified Professional in Erosion and Sediment Control (CPESC); or
- 1.1.1.2. TDEC Level II
- 1.2. Do the EPSC plans involve structural design, hydraulic, hydrologic or other engineering calculations for EPSC structural measures (sediment basins, etc.)? Yes no (3.1.1)
 If yes, have the EPSC plans been prepared, stamped and certified by a Licensed Professional Engineer or Landscape Architect?
 Yes No
- 1.3. Do the project stormwater outfalls discharge into the following? yes no (check all that apply below)
- 1.3.1. Impaired waters (303d for Siltation or Habitat Alteration)
- 1.3.2. Tennessee known Exceptional Waters
- If yes, have the EPSC plans been prepared by an individual who has completed TDEC Level II? Yes No n/a ; and
- If yes, has the SWPPP Template been prepared by an individual who has completed TDEC Level II? Yes No n/a

Site Assessments

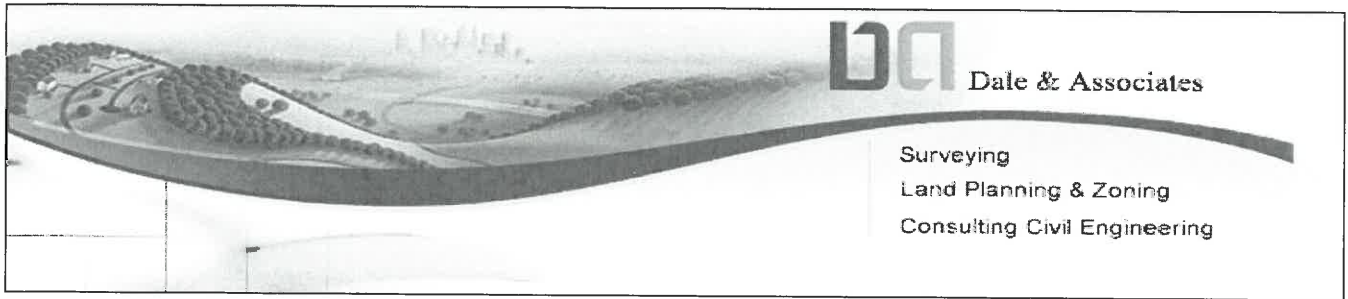
Quality Assurance Site Assessments of Erosion Prevention and Sediment Controls required:
 yes no

A. SITE INFORMATION

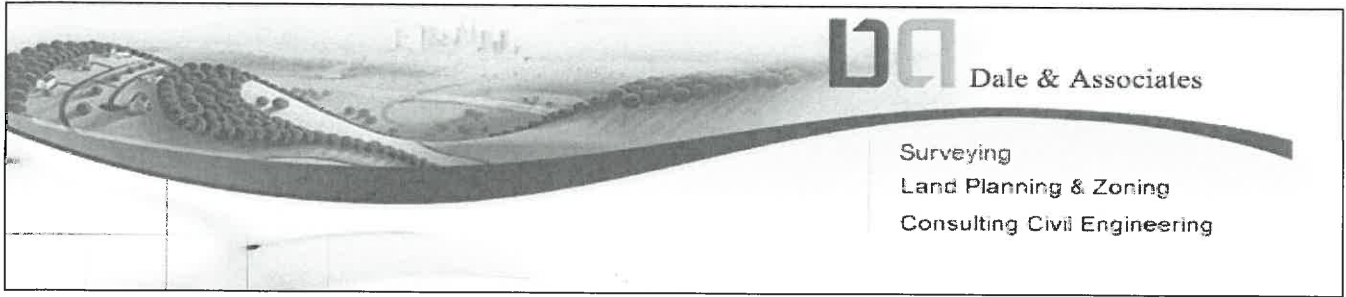
1. Project Description:

The complete development of this 4.55 acre tract of land (Tax Map 162, Parcel 105 per the Davidson County Tax Assessor) will ultimately consist of a multi family building with retail space and associated infrastructure.

This Storm Water Pollution Prevention Plan has been drafted to serve as a supporting document to the Notice of Intent it is being filed with.



- a. **Area of Coverage Description:** The construction of this section and Notice of Intent will include the infrastructure for additional apartment units and townhome units.
- b. **Proposed Area of Coverage:** The total area of disturbance proposed through this document is 2.57 acres and is depicted by the heavy contour lines shown on the attached plans. This project does not propose greater than 50 acres of disturbance at any time
- c. **Construction Sequence:** The sequence of major activities that will entail the disturbance of soils within the site include the following in this order: installation of erosion control measures, tree removal, mass grading, install sewer, storm, and water infrastructure, paving, and final stabilization. Please see Section 2 for a more detailed sequence of events for infrastructure.
- d. **Topographic Information:** The existing topography within the areas of disturbance is moderate, ranging from 5-25%. Any proposed grading that results in a 3:1 slope is to be stabilized using erosion control matting, as shown on the plans attached to this SWPPP.
- e. **Soil Information:** A copy of the NRCS Soil Survey maps for the subject site has been attached to this document and shows this area consisting of Class 'C' soils and some Class 'B' Soils.
- f. **Runoff Coefficient Information:** The composite runoff coefficient (c) for this site as a whole after construction is complete will be approximately 0.50 (based on the Rational Method for determining peak discharge, $Q=ciA$ where c is the runoff coefficient). Prior to the initial disturbance, the site consisted of undeveloped woodland.
- g. **Limits of Disturbance and Proposed Measures:** Please refer to attached construction plans for proposed measures for erosion prevention and sediment control. The area to be disturbed is shown on the approved grading plans by solid contours, and the dashed and/or shaded contours represent existing ground and areas to remain undisturbed. An Overall Disturbance Boundary can also be found on the plans (C1.0 – Initial Erosion Control).
- h. **Stream Disturbance (ARAP Requirement):** An ARAP will not be required for this project.



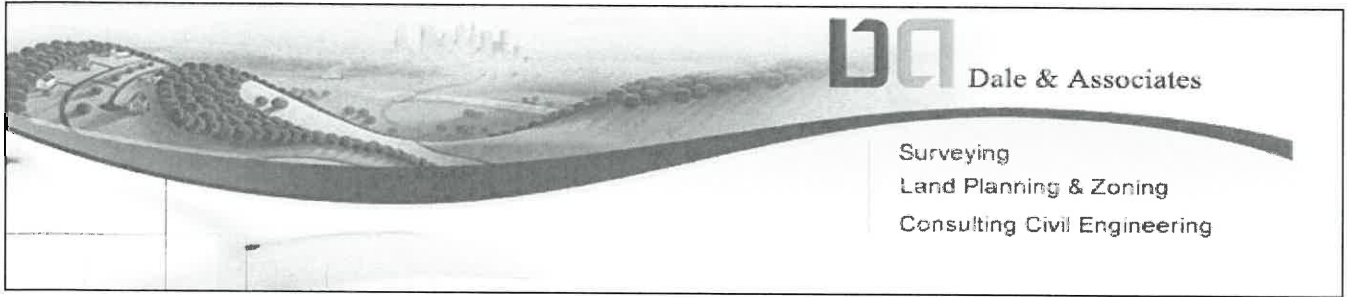
- i. **Receiving Waters Information:** The receiving water for this site is Savage Branch.
- j. **Stream Buffer information:** No Stream Buffers are required for this project.
- k. **Outfall Information (Sediment Basin Requirement):** This Project does not discharge into an impaired or known exceptional quality water and therefore will not require a sediment basin (or equivalent measure) for all outfalls with five or more acres (For the north basin only).
- l. **Discharge Information:** There will be no discharge associated with industrial activity other than construction storm water that originates on site as permitted.

2. **Order of Construction Activities:**

Infrastructure

- a. Install stabilized construction entrance.
- b. Prepare temporary parking and storage area.
- c. Construct the silt fences, erosion eels (revise as construction progresses).
- d. Grade diversion swales and additional erosion control measures.
- e. Install temporary sediment control (revise as construction progresses).
- f. Clear, grub and grade the site.
- g. Temporarily seed denuded areas.
- h. Prepare site for paving and install utilities.
- i. Install storm drainage and pave streets
- j. Complete final grading and install permanent seeding or sod.
- k. Remove all temporary erosion and sediment control devices (only if site is stabilized). The site is stabilized when all soil-disturbing activities are completed and a uniform perennial vegetative cover with a density of 70% of the cover for unpaved areas and areas not covered by permanent structures has been employed.

Note: The contractor shall be responsible for implementing, restoring, and/or revising the temporary sediment and erosion control measures (silt fences, erosion eel barriers, temporary diversion dikes, etc.) as necessary during construction to help prevent soil erosion and storm water pollution



B. CONTROLS

1. Erosion and Sediment Controls

Contractor is responsible for maintenance and operation of all EPSC Controls for this project. Contractor to maintain all controls per EPSC recommendations or as needed to prevent silt from leaving the site.

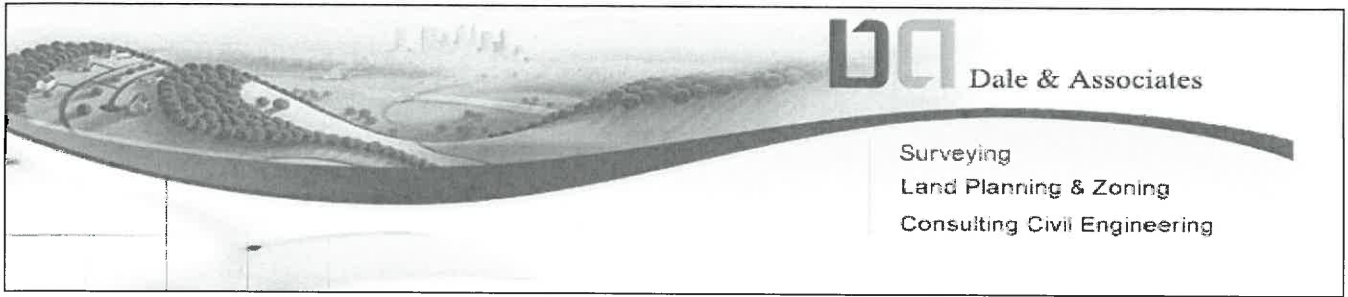
- a. *Stabilization Practices.*** The vegetation within the scope of the project site development will be removed with the exception of those trees to remain. The areas in which no disturbance shall be allowed are shown on the Grading and Erosion Control Plan. When deficient soil is encountered, soil undercutting will be required in those areas as recommended by the geotechnical report.

 - 1. Where the initiation of stabilization measures by the 14th day after the construction activity temporarily or permanently ceases is precluded by snow cover, stabilization measures shall be initiated as soon as practicable thereafter.
 - 2. Where construction activity will resume on a portion of the site within 15 days from when activities ceased, then stabilization measures do not have to be initiated on that portion of the site by the 14th day after construction activity temporarily ceased.

- b. *Structural Practices.***

 - 1. *Silt Fence.* Silt fences shall be placed and “constructed in accordance with the Erosion Control Plans, see attached sheet.

 - 2. *Construction Entrance.* Construction entrances should be placed and constructed in accordance with Erosion Control Plans. See attached sheet.



2. Storm Water Management

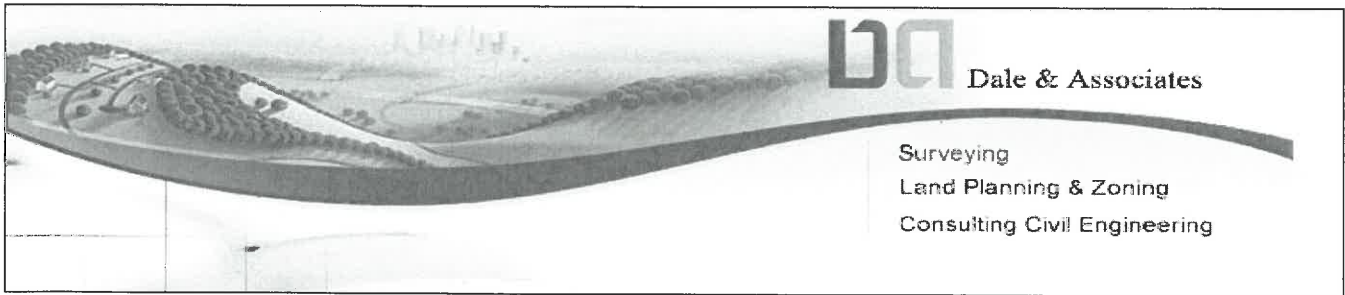
- a. Off-site runoff basically continues to flow in its pre-developed state via natural contours. Silt fences have been placed to accommodate runoff associated with a 5-year 24 hour storm event for the Nashville, TN area (approximately 4”).
- b. Soil Stabilization will be accomplished by the use of seeding in the appropriate areas, as specified. Temporary seeding will be required in those areas that consist of disturbed soils that have remained dormant for periods of more than 15 days.

As a general rule, permanent seeding will be performed within 14 days after the final grade once an area has been established. If disturbed areas on-site are to remain dormant for periods greater than six months in duration, the contractor will apply permanent soil stabilization. An allowance in the time schedule will be made for snow cover during periods of construction downtime. Seeding will be performed by hydro-seeding, by hand, or by a mechanical broadcasting method

- c. The areas to be seeded will be uniform and will conform to the finished grade and cross Section shown in the plans for this project or as otherwise designated. Owner’s representative will perform minor shaping of uneven and rough areas outside the graded section as directed in order to provide for more effective erosion control and for ease of subsequent earth moving operations.
- d. The seed bed (including cut slopes) will be loosened to a minimum depth of 3 inches before agricultural lime, fertilizer or seed is applied. The areas to be seeded will be cleared of stones larger than 2.5 inches in dimension, roots, and other debris.

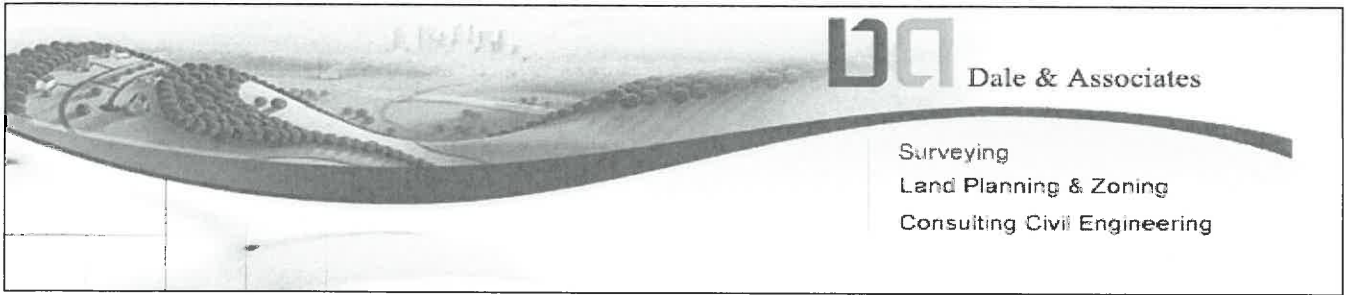
3. Other Controls

- a. All contractors and subcontractor affiliated with the construction project shall abide by federal, state (Tennessee), and local (Davidson County) requirements for construction, waste disposal, sanitary sewer, and septic system regulations.
- b. Providing a construction entrance as detailed on the Erosion Control Plan shall minimize off-site vehicle tracking of sediments. No access for



construction ingress or egress shall be allowed except for the construction entrance shown on the Erosion Control Plan.

- c. *Temporary Parking and Storage.* The temporary parking and storage areas shall be located as determined by developer's construction manager. The temporary parking and storage area shall also be used as the equipment maintenance area, equipment cleaning area, employee break area and area for locating portable facilities, office trailers and toilet facilities.
- d. *Dust Control.* Dust control on the site shall be minimized by sprinkling water on dry area of the site. The use of motor oils and other petroleum based or toxic liquids for dust suppression operations are prohibited.
- e. *Construction Waste.* All construction waste and trash (paper, plastic, wood, scrap metals, rubber, etc.) shall be collected and stored in containers with lids or covers that can be placed over the container prior to rainfall. This waste shall be disposed of according to state and local solid waste management regulations.
- f. *Hazardous Waste.* All hazardous waste (paints, acids for cleaning masonry surfaces, cleaning solvents, concrete curing compounds and additives, etc.) shall be disposed of according to local, state and federal regulations.
- g. *Sanitary Waste.* Sanitary waste that is generated on the site shall be disposed of in accordance with local and state regulations.
- h. *Concrete Truck Waste.* Excess concrete and wash water shall be disposed of in a manner that prevents contact between these materials and storm water that is discharged from the site.
- i. *Vehicle and Equipment Cleaning.* Wash water generated from vehicle and equipment cleaning shall be disposed of in a manner that prevents contact between these materials and storm water that is discharged from the site.



C. MAINTENANCE

1. Maintenance Requirements:

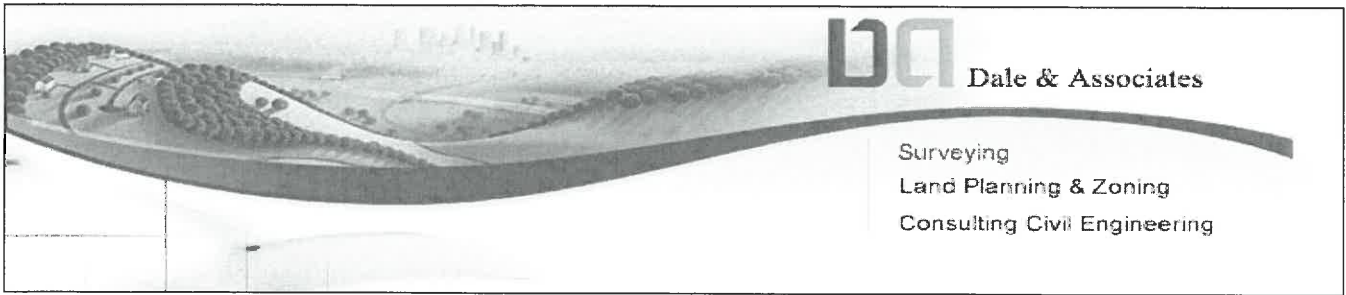
All measures stated in this Storm Water Pollution Prevention Plan and on the Erosion Control Plans for the prevention of storm water pollution and erosion control shall be maintained in fully functional condition until the final stabilization of the site. All erosion and sedimentation control measures shall be cleaned and repaired in accordance with the following, see attached sheets for construction details. Certain features as specified below to remove silt at 50% design capacity.

- a. Erosion Eels shall be fixed or replaced if they show signs of undermining or deterioration.
- b. All seeded areas shall be checked regularly to see that a good stand of grass is maintained. Areas should be reseeded and fertilized as needed to provide a good stand of grass for erosion control.
- c. Silt fences shall be repaired to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-third to one-half the height of the silt fence.
- d. The construction entrances shall be maintained in a condition, which will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing as conditions demand.
- e. The temporary parking and storage area shall be kept in good condition, suitable for parking and storage. This may require periodic top dressing as conditions demand.

The project supervisor/contractor may delegate an individual and/or consultant to sign EPSC Inspections Reports. For satisfying signatory requirements for EPSC Inspection Reports, the project supervisor/contractor and newly authorized individual accepting responsibility must submit written authorization to the local TDEC EFO.

2. Maintenance Practices

- a. All controls will be maintained in good and effective operating order. Necessary repairs or maintenance will be accomplished before the next storm event and in no case more than 7 days after the need is identified. In



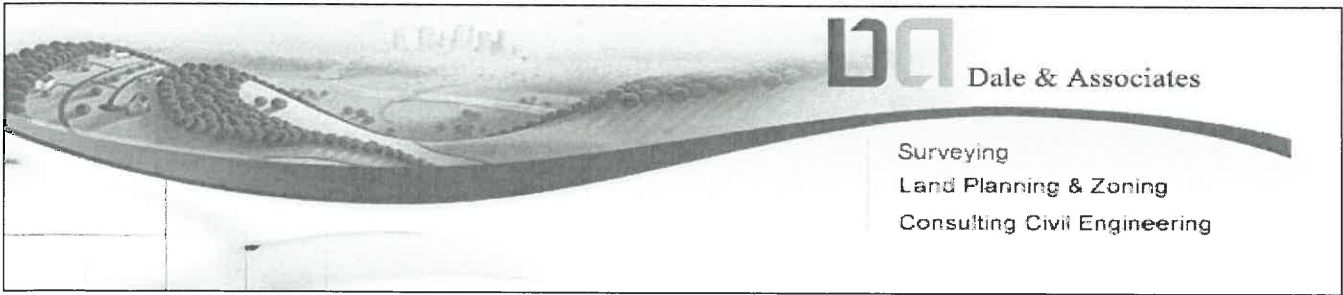
a case where the activity is deemed impracticable, any such conditions will be documented

- b. All controls will be maintained in accordance with standard drawings and good engineering practices.
- c. Sediment will be removed from sediment traps, silt fence, sediment basins, and other controls when the design capacity has been reduced by 50%.
- d. Litter, construction debris, and construction chemicals exposed to stormwater will be picked up and removed from stormwater exposure prior to anticipated storm events or before being carried off of the site by wind, or otherwise prevented from becoming a pollutant source for stormwater discharges. After use, materials used for erosion control will be removed.
- e. All seeded areas will be checked for bare spots, erosion washouts, and vigorous growth free of significant weed infestations.

The project supervisor or their designee and the contractor's site superintendent are responsible for inspections. Maintenance and repair activities are the responsibility of the contractor. The project supervisor or their designee will complete the inspection reports and distribute copies per the contract

D. MATERIAL MANAGEMENT

1. *Petroleum Products:* All on-site vehicles shall be monitored for leaks and receive regular preventative maintenance to reduce the chance of leakage. Petroleum products (oils, gasoline, lubricates, asphalt substances, etc.) shall be stored in tightly sealed containers which are clearly labeled. Any asphalt substances used on-site will be applied according to the manufacturer's recommendations.
2. *Paints:* All containers shall be tightly sealed and stored when not required for use. Excess paint shall not be discharged to the storm sewer system but will properly disposed of according to manufacturer's instructions or state and local requirements.
3. *Fertilizers:* Fertilizers used shall be applied only in the minimum amounts recommended by the manufacturer. Once applied, fertilizer shall be worked into the soil (4 to 6 inches) to limit exposure to storm water. Fertilizers shall be stored in a covered area.
4. *Hazardous Products:* Products shall be kept in original containers unless they are not resealable. Original labels and material safety data shall be retained (the



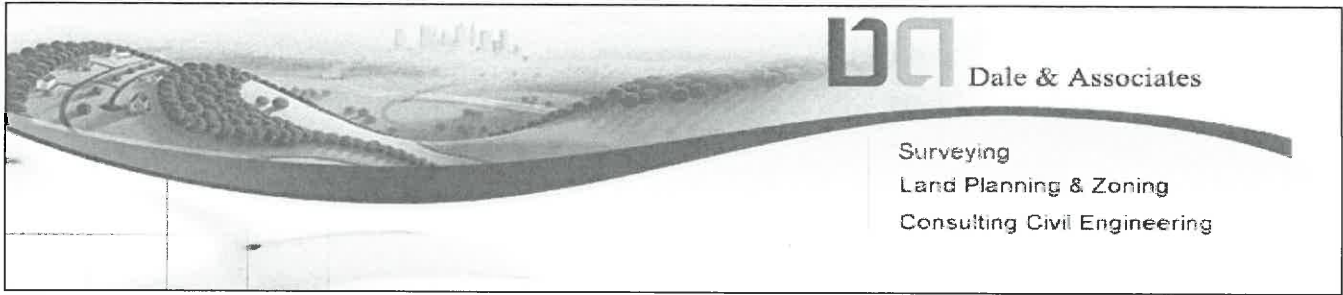
labels contain important product information). If surplus products must be disposed of, local, state and federal requirement shall be followed.

E. SPILL CONTROL PRACTICES

1. Materials shall be tightly sealed in containers that are clearly labeled and shall be neatly and securely stacked.
2. Materials and equipment necessary for spill cleanups shall be kept in the material storage area on-site.
3. All spills shall be cleaned up immediately after discovery.
4. The spill area shall be kept well ventilated and personnel shall wear appropriate protective clothing to prevent injury from contact with a hazardous substance.
5. Spills of toxic hazardous materials shall be reported to the appropriate local, state, and federal government agencies as soon as possible, regardless of the size.
6. Contaminated materials shall be disposed of according to local, state, and federal requirements.
7. One person shall be selected to be the spill prevention and cleanup coordinator.
8. The designated field supervisor will contact the appropriate authorities for notification of a spill related incident. The following list are the authorities as related to this project:

Dan McVicker	615-479-1967
Tennessee Department of Environment and Conservation	(615) 532-0625
National Response Center	800-424-8802
Tennessee Emergency Management Agency	800-262-3300
Non-emergencies	800-262-3400

Spill of toxic, hazardous, or petroleum-based materials shall be reported immediately to the DPC&E and the local Fire Department.



The Developer will maintain a map outlining the route to the hospital in case of a spill related injury. This map will be posted at each on-site office trailer. A first aid kit will also be maintained at the office trailer located on the project site. The Developer will be responsible for ensuring that the kit is complete at all times.

The Developer shall follow the reporting guidelines stated in the state guidelines, if the spill consists of a hazardous or oily substance. Reporting will be in accordance to the provisions stated under 40 CFR Parts 110, 117 and 302.

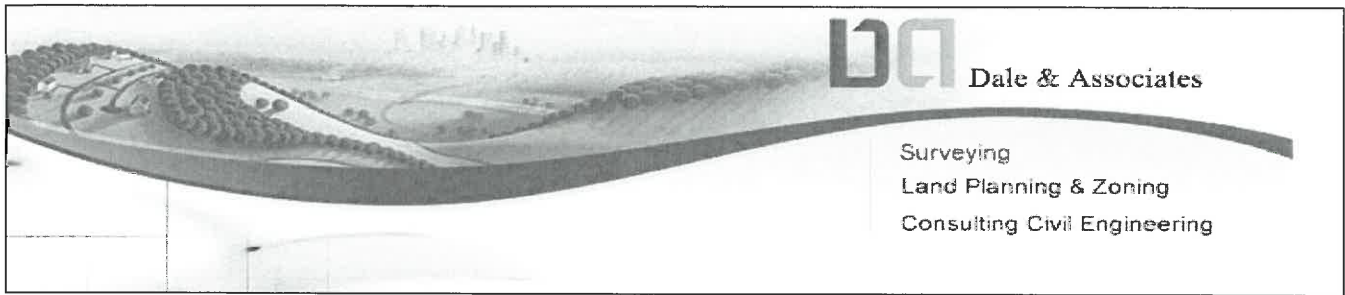
F. GOOD HOUSEKEEPING

1. The following good housekeeping practices shall be followed on-site during the construction project.
 - a. Neat and orderly storage of any chemicals, fertilizers, fuels, etc., that are being stored on the site.
 - b. Regular garbage, rubbish, construction waste and sanitary waste disposal.
 - c. Prompt cleanup of any spills that have occurred.
 - d. Cleanup of sediment that has been deposited off of the site by vehicle tracking, wind, and storm water.

G. INSPECTIONS

1. Qualified personnel (provided by the contractor) shall inspect all erosion, sedimentation and storm water pollution devices stated in this Storm Water Pollution Prevention Plan and on the Erosion Control Plans at least twice every seven calendar days. Disturbed areas and areas used for material storage that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the drainage systems. Erosion and sediment control measures identified in the Storm Water Pollution Prevention Plan and the Erosion Control Plans shall be observed to ensure that they are operating correctly. Discharge locations shall be inspected to ascertain whether the erosion and sedimentation control measures are effective in preventing significant impacts to receiving waters.

Based on the results of the inspections, the erosion and sedimentation control measures shall be revised or modified as appropriate, but in no case shall it take more than seven calendar days following the inspection to revise or modify the erosion and sediment control measures.

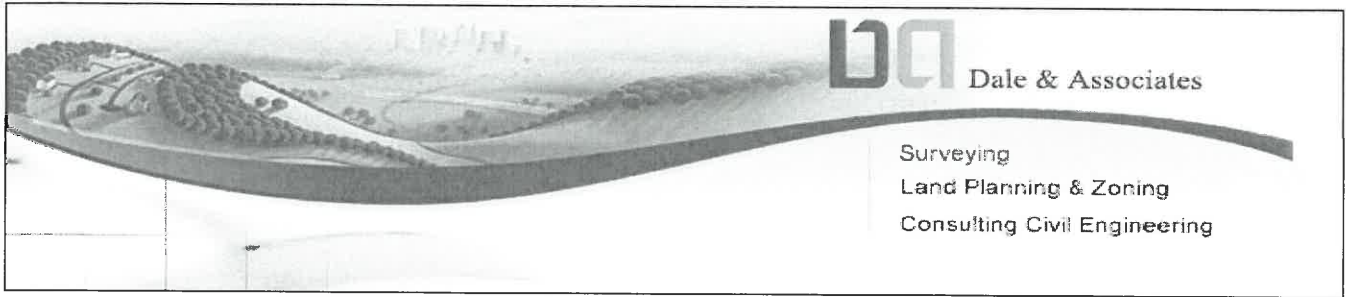


2. Inspection practices

- a. Inspectors must have successfully completed the TDEC Fundamentals of Erosion and Sediment Control Course (TDEC Level I) and maintain the certification. A copy of the inspector's certification should be kept on site.
- b. Inspections will be conducted at least twice every calendar week and at least 72 hours apart.
- c. The frequency of EPSC inspections may be reduced to once a month (i.e. extreme drought conditions, frozen ground, etc.) With written notification to the local environmental field office and subsequent tdec approval. Written notification must include the intent to change frequency and justification.
- d. All disturbed areas of the site that have not been finally stabilized, areas used for material storage that are exposed to precipitation, structural control measures, and locations where vehicles enter or exit the site, and each outfall will be inspected.
- e. The inspector will oversee the requirements of other construction-related Water Quality Permits (i.e. TDEC ARAP, US COE and TVA Section 26A permits) for construction activities around waters of the state.
- f. The SWPPP will be revised as necessary based on the results of the inspection. Revision(s) will be recorded within 7 days of the inspection. Revision(s) will be implemented within 14 days of the inspection.
- g. The inspector shall conduct pre-construction inspections to verify areas that are not to be disturbed have been marked in the SWPPP and in the field before land disturbance activities begin and initial measures have been installed. (10 "inspector")
- h. Inspections will be documented on the Construction Stormwater Inspection certification form provided in appendix c of the CGP and include the scope of the inspection, name(s), title and TN EPSC Certification Number of personnel making the inspection, the date(s) of the inspection, current approximate disturbed acreage at time of inspection, checklist (NOC, SWPPP, rain gauge, site contact information, etc.) And major observations relating to the implementation of the SWPPP.

H. NON-STORM WATER DISCHARGES

1. Anticipated non-storm water discharges on the construction site may include the following:



- a. *Waterline flushing from the newly installed waterlines.* Silt fences shall be used to collect sediment from water that is flushed from new waterlines.
- b. *Discharge form fire fighting activities.* Any materials from fire fighting activities that may pollute the storm water shall be disposed of in a proper manner.
- c. *Water Discharge from dust control.* Silt fences shall be used to collect sediment from discharge waters associated with dust control.

I. APPROVED STATE OR LOCAL PLANS

1. To the best knowledge of all parties involved with implementation of this Storm Water Pollution Prevention Plan, all measures and consideration specified in this plan meet the requirements of the Tennessee Department of Environment & Conservation NPDES permit TNR10-0000 and Davidson County.

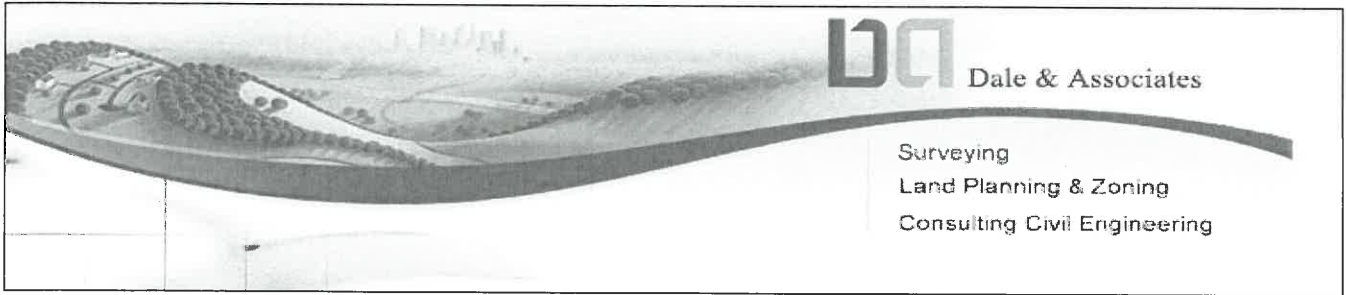
This Plan was prepared in accordance with the Tennessee Dept. of Environment & Conservation NPDES Permit No. TNR10-0000 and the EPA Storm Water Management for Construction Activities.

J. SIGNATURE REQUIREMENTS

1. All reports and certifications shall be signed in accordance with part IV.B of the NPDES Permit TNR10-0000.

K. Tennessee Dept. of Env. & Conservation NPDES STORM WATER PERMIT TNR10-0000

1. The Tennessee Dept. of Environment & Conservation NPDES Storm Water Permit TNR10-0000, Appendix F, is considered part of this Storm Water Pollution Prevention Plan and shall be used as a reference and a guide to insure that all requirements, conditions, limitations and responsibilities are met.



L. CONTRACTOR ASSIGNMENT

1. This plan will be modified to include the assignment of contractors and subcontractors to specific measures that are outlined herein.
2. All contractors and subcontractors will be required to sign a copy of the following certification statement before conducting any professional service at the site identified in this plan:

“I certify under penalty of law that I understand the terms and conditions of the general National Pollution Discharge Elimination System (NPDES) permit that authorizes the storm water discharges associated with industrial activity from the construction site as part of this certification.”

The preceding contractor / subcontractor certification must include the name and title of the person providing the signature; the name; address and telephone numbers of the contracting firm; the address; (or other identifying description) of the site; and the date the certification is made. Any signature affixed to this plan, or related documents, must be accompanied by the proper certification. The preceding contractor / subcontractor certification is part of permit number TNR10-0000, and is included as a part of this Storm Water Pollution Prevention Plan to serve as record only.

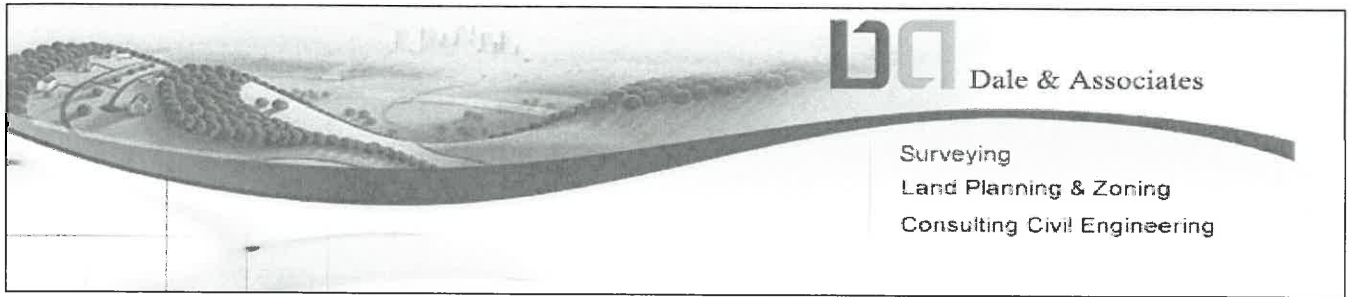
M. SIGNATORY REQUIREMENTS

The Signatory Requirements for all documents related to the permit number TNR10-0000 are as follows:

All Notices of Intent, Storm Water Pollution Prevention Plans, certifications or information either submitted to the Tennessee Dept. of Environment & Conservation or the operator of a large or medium municipal separate storm sewer system, or that this permit requires to be maintained by the permittee, shall be signed in accordance with the following:

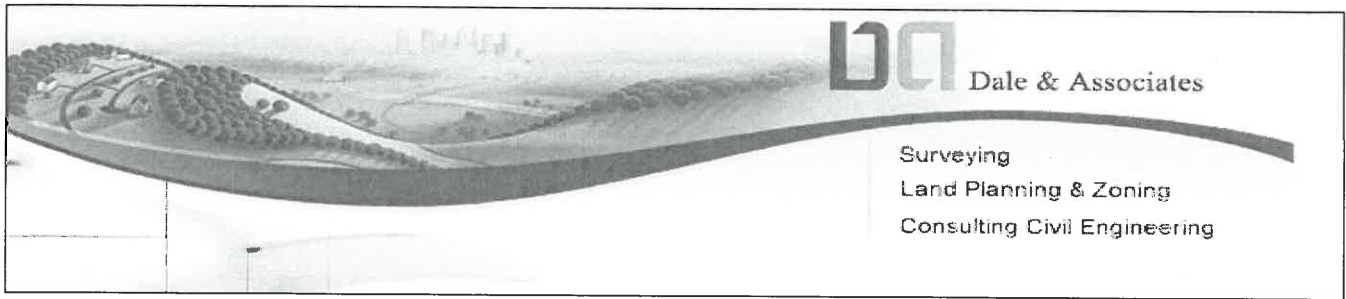
Identity of signatories of operation permits applications. The person who signs the application for an operation permit shall be:

1. *Corporations.* In the case of a corporation, a responsible corporate officer, which is one of the following:
 - a. A president, secretary, treasurer, or vice-president of the corporation in charge of a principal business function, or any other person who performs similar policy or decision-making functions for the corporation; or



- b. The manager or one or more manufacturing, production, or operating facilities employing more than 250 persons or having gross annual sales or expenditures exceeding \$25 million (in second quarter 1980 dollars), if authority to sign documents has been assigned or delegated to the management in accordance with corporate procedures.
2. *Partnerships.* In the case of a sole partnership, a general partner.
3. *Sole proprietorships.* In the case of a sole proprietorship, the proprietor.
4. *Public Facilities.* In the case of a municipal, state, or other public facility, by either the principal executive officer, or the ranking elected official. A principal executive officer of a Federal Agency includes:
 - a. The chief executive officer of the agency; or
 - b. A senior executive officer having responsibility for the overall operations of a principal geographic unit of the agency.
5. *Storm water discharge associated with industrial activity from construction activity.* In the case of a storm water discharge associated with industrial activity from construction, either the owner of the site or general contractor.

The person who signs the NPDES reports shall be the same, except that in the case of a corporation, or a public body, monitoring reports required under the terms of the permit may be submitted by the person who is responsible for the overall operation of the facility from which the discharge originated. The preceding signatory requirements are a part of permit number TNR10-000, and are included as part of this Storm Water Pollution Prevention Plan to serve as record only.



N. AUTHORIZATION

All reports required by the permit and other information requested by the Director of the Tennessee Dept. of Environment & Conservation shall be signed by a person described above or by a duly authorized representative of that person. A person is a duly authorized representative only if:

1. The authorization is made in writing by a person described above and submitted to the Director;
2. The authorization specifies either an individual or a person having responsibility for the overall operation on the regulated facility or activity, such as the position of plant manager, operator of a well or well field, superintendent, or position or equivalent responsibility, or position or equivalent responsibility for environmental matters for the company. (A duly authorized representative may thus be either a named individual or any individual occupying a named position); and
3. Changes to Authorization. If an authorization under this part is no longer accurate because a different individual or position has responsibility for the overall operation of the facility, a new authorization satisfying the above requirement must be submitted to the Director prior to or together with any reports, information, or applications to be signed by an authorized representative.

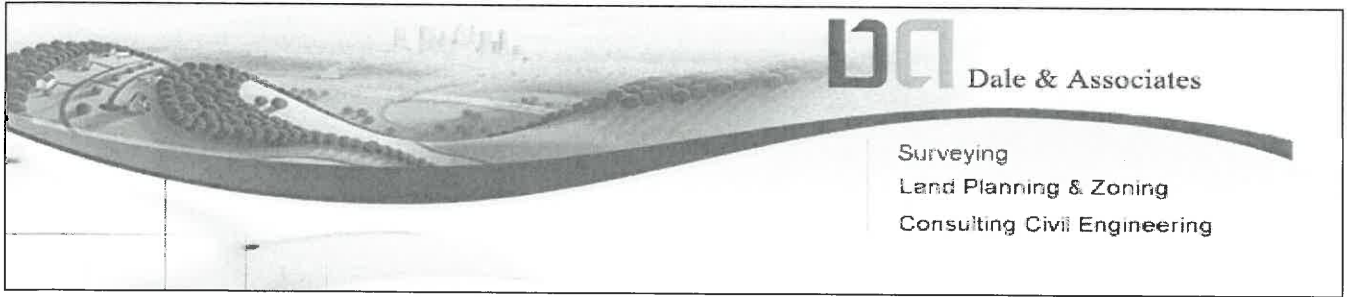
The preceding authorization requirements are a part of permit number TNR10-0000, and are included as a part of this Storm Water Pollution Prevention Plan to serve as a record only.

O. SIGNATURE CERTIFICATION

1. *Certification.* Any person signing documents shall make the following certification:

“I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the systems, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for violations.”

The preceding signature certification is a part of permit number TNR10-0000, and is included as part of this Storm Water Pollution Prevention Plan to serve as record only.



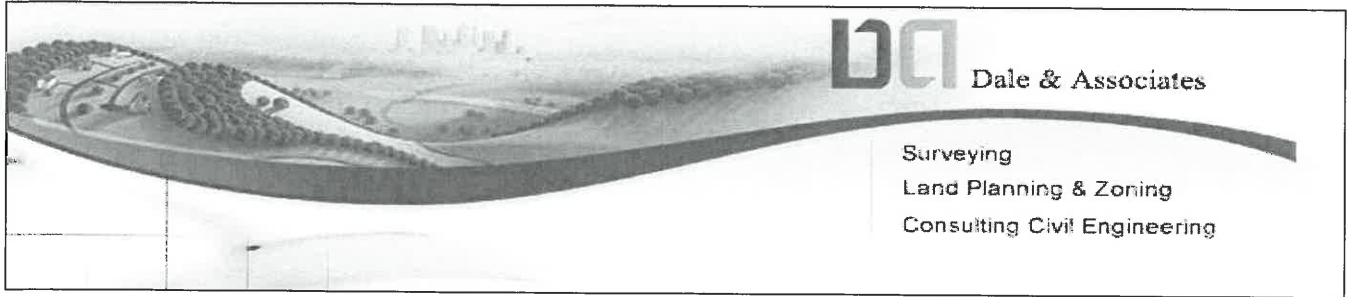
Any signature affixed to this plan or related documents must be accompanied by the proper certification

P. NOTICE OF TERMINATION

1. After final stabilization at the construction site, the contractor shall submit a Notice of Termination to the Department. This notice shall include the name of the owner that was issued the permit, and the general permit number. This notice shall also be accompanied by the following certification:

“I certify under penalty of law that disturbed soils at the identified facility have been finally stabilized and temporary erosion and sediment control measures have been removed or will be removed at an appropriate time, or that all storm water discharges associated with construction activities from the identified site that are authorized by a NPDES general permit have otherwise been eliminated. I understand that by submitting this Notice of Termination, that I am no longer authorized to discharge storm water associated with industrial activity by the general permit, and that discharging pollutants form storm water associated with industrial activity to waters of the State is unlawful under the Clean Water Act where the discharge is not authorized by a NPDES permit.”

The preceding Notice of Termination certification is a part of permit number TNR10-0000 and is included as a part of this Storm Water Pollution Prevention Plan to serve as record only. Any signature affixed to this plan or related documents must be accompanied by the proper certification.



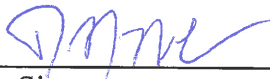
Appendix A

Norwood Properties

STORM WATER POLLUTION PREVENTION PLAN

REPRESENTATIVE OF OWNER/DEVELOPER

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.


Sign

 Dan McVicker
Print

 3/18/20
Date

CONTRACTOR'S CERTIFICATION

I certify under penalty of law that I have reviewed this document, any attachments, and the SWPPP referenced above. Based on my inquiry of the construction site owner/developer identified above, and/or my inquiry of the person directly responsible for assembling the Notice of Intent, I believe the information submitted is accurate. I am aware that this NOI, if approved, makes the above described construction activity subject to NPDES permit number TNR100000, and that certain of my activities on-site are thereby regulated. I am aware that there are significant penalties, including the possibility of fine and imprisonment for knowing violations, and for failure to comply with these permit requirements.

Sign

Print

Date

Unless specified otherwise the DEVELOPER / CONTRACTOR is responsible for:

1. Temporary and permanent stabilization.
2. Stabilized construction entrance, fences, dikes, and silt collection areas.

Water and Sewer Notes

- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the metro water services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced pressure backflow prevention devices (rbpd) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the metro water services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services inspection section. All costs will be borne by the developer.
- Upon completion of construction of water and/or sewer, the engineer shall provide the Metro Water Services department with a complete set of as-built plans on moist erasable mylars in reverse and in digital (*.dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
- All water mains must be located within the paved area including all blow-off assemblies.

Landscape Notes

- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities. the landscape contractor shall verify the exact location of all utilities and take precautions to prevent damage to the utilities.
- All planting and mulch beds shall be sprayed with round-up (contractor's option) prior to the installation of mulch.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- All planting areas shall be fertilized with 12#/1000 s.f. of 10-10-10 fertilizer.
- All planting beds shall have a minimum of 3" depth of shredded hardwood bark mulch.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
- The landscape contractor shall provide a one year warranty on all plant materials and replace any dead or dying material within that time period.
- No plant materials should be substituted without authorization by Dale & Associates. Plant sizes shown are minimums required by the local municipality and materials shown have been selected specifically for this project.
- All wire baskets shall be completely removed and disposed of, burlap should be removed or punctured in at least 5 places. Remove all twine from burlapped materials.
- Guying is not allowed unless required by municipality or site conditions. The landscape contractor shall remove wires after a one year period.
- No canopy tree shall be located within 15' of an overhead utility. No tree shall be located within a public utility easement. Locating plant materials within a drainage easement is acceptable, but only if installed as not to disturb existing drainage flow. In such instances, the materials shall be located no closer than 5' from the centerline of drainage.
- Lighting plan to be coordinated with proposed planting plan. no light poles to be located in tree islands. See lighting plan for proposed light locations.

Public Works Notes

- All work within the public right of way requires an excavation permit from the department of public works.
- Proof-rolling of all street subgrades is required in the presence of the public works inspector. Inspection of the binder course is required prior to final paving in the presence of the public works inspector. These requests are to be made 24 hours in advance.
- Stop signs are to be 30 inch by 30 inch.
- Street signs to have six inch white letters on a nine inch green aluminum blade, high intensity reflective.
- All pavement marking are to be thermoplastic.

Architectural Notes

Building elevations for all street facades shall be provided with the final site plan. The following standards shall be met:

- Building facades fronting a street and courtyard shall provide a minimum of one principal entrance (doorway) and a minimum of 15% glazing.
- Windows shall be vertically oriented at a ration of 1.5:1 or greater.
- EIFS, vinyl siding, and untreated wood shall be prohibited.
- A raised foundation of 18"-36" is required for all residential structures.
- Porches shall provide a minimum of six feet of depth.
- Additional windows, glazing, or other architectural treatment shall be provided on the western (street facing) side of Unit #1 to address the street.

Erosion Control and Grading Notes

- Expose as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by sprinkling or other acceptable means.
- All cut/fill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12 lbs. per 1000 sq. ft. of 10-10-10 fertilizer (unless otherwise specified in written specifications), 5 lbs. or more of Kentucky 31 fescue seed per 1000 sq. ft., and a straw mulch cover of 70%-80% coverage (approximately 125 lbs. per 1000 sq. ft.), unless otherwise noted within written specifications.
- Erosion control barrier is called out on plans and is to comply with the Metropolitan stormwater management manual, volume four, section TCP-14.
- Disturbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction.
- The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
- Any access routes to the site shall be based with crushed stone, ASTM #1 stone, 100' long and at least 6" thick.
- The placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 8" thickness (or as directed by the soils investigative report). Said fill material is to be free of sod, roots, frozen soils, or any other decomposable material. Said fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.
- The contractor shall notify the Metro Davidson County department of Public Works construction compliance division, three days prior to beginning the work.
- The contractor shall locate and stake the layout of the site in the field for inspection by the engineer. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the engineer immediately for a decision.
- Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
- The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights.
- The contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction caused by himself, his sub-contractors, or the carelessness of any of his employees.
- All work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portions of work which he is to perform.
- All erosion control measures shall remain in place until site is stabilized & construction is complete.
- Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro CP-10 and CP-13, respectively. Contractor to coordinate exact location with NPDES department during the pre-construction meeting. Grading permittee to include bmp's designed to control site wastes such as discarded building materials, chemicals, litter and sanitary wastes that may cause adverse impacts to water quality. The location of and/or notes referring to said bmp's shall be shown on the EPSC plan.
- The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.
- Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Storm Water approval / comments only. The final lot count and details of the plan shall be governed by the appropriate Storm Water regulations at the time of final application.

Standard SP Notes

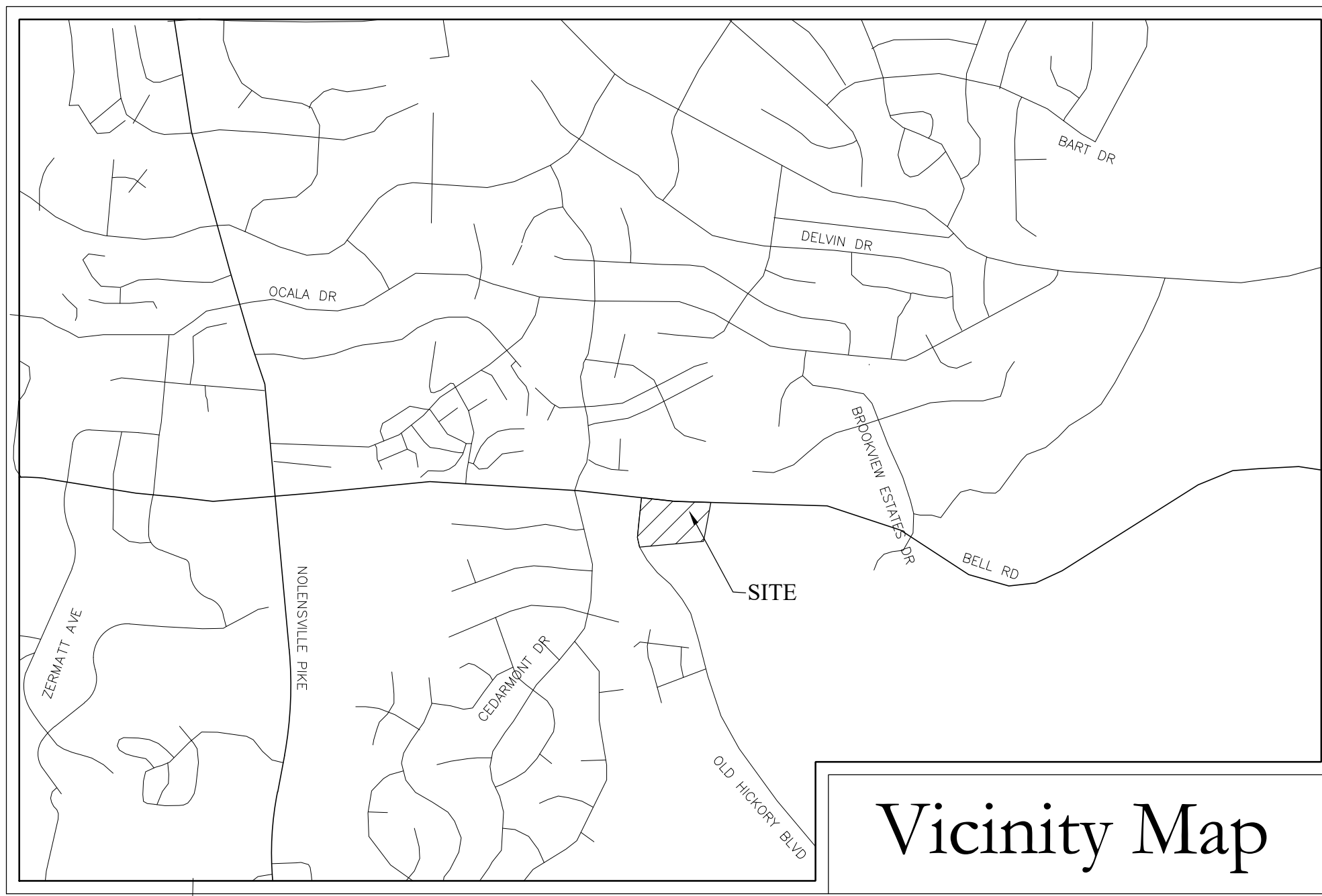
- The purpose of this SP is to receive preliminary approval to permit the development of a multi family residential development.
- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Storm Water Management Ordinance No. 78-840 & Approved by the Metropolitan Department of Water Services.
- This Property does Not Lie Within a Flood Hazard Area as Depicted on the Current Flood Insurance Rate Maps (FIRM) Numbers 47037CO387H dated 4/5/2017.
- All public sidewalks are to be constructed in conformance with metro public works sidewalk design standards.
- Wheel chair accessible curb ramps, complying with applicable metro public works standards, shall be constructed at street crossings.
- The required fire flow shall be determined by the metropolitan fire marshal's office, prior to the issuance of a building permit.
- Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in Metro right of way is 15" CMP).
- Metro Water Services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any stormwater facilities within the property.
- Individual water and/or sanitary sewer service lines are required for each lot.
- The development of this project shall comply with the requirements of the Adopted Tree Ordinance 2008-328 (Metro Code Chapter 17.24, Article II, Tree Protection and Replacement; and Chapter 17.40, Article X, Tree Protection and Replacement Procedures).
- Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.
- For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of commission or council approval, the property shall be subject to the standards, regulations and requirements of the MUN-A zoning district as of the date of the applicable request or application.
- The final unit count and details of the plan shall be governed by the appropriate regulations at the time of final application.
- The final SP shall depict required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to issuance of use and occupancy permits, existing vertical obstructions shall be located outside of the required sidewalks. Vertical obstructions are only permitted within the required grass strip or frontage zone.
- Non owner occupied short term rentals are not allowed within this development.

PERMITS:
Case No. 2007SP-156-003
SWGR#####
YY-SL-####
YY-WL-####

Final SP

Brentwood Lofts

Map 162 Parcels 105 Nashville, Davidson Co., Tennessee Case No. 2007SP-156-003



Vicinity Map

SHEET SCHEDULE

- C0.0 Project Notes and Standards
- C1.0 Existing Conditions and Initial Erosion Control Plan
- C1.1 Intermediate Erosion Control Plan
- C2.0 Layout and Utility Plan
- C3.0 Grading Plan
- L1.0 Landscape Plan

Development Summary		
Property Information Map 162 Parcel 105 1638 Bell Road Nashville, TN 37211 Zoned: SP Site Area: 6.64 Ac	Council District 31 Fabian Bedne	Electric Service Nashville Electric Service (NES) 1214 Church Street Nashville, Tennessee 37246 615.747.6807
Owners of Record Corolla Management Corp. P.O. Box 6400 Roanoke, VA 24017	Civil Engineer and Surveyor Dale & Associates (Adam Seger, PE) 516 Heather Place Nashville, Tennessee 37204 615.297.5166	Gas Service Nashville Gas (Piedmont) 615.734.0734
Developer Dan McVicker, Jr. Norwood Properties, LLC Commercial Construction 615.479.1967 dan@norwoodproperties.net	Floodnote This Property Does Lie Within a Flood Hazard Area as Depicted on the Current Flood Insurance Rate Maps (FIRM) Number 47037CO387H dated 4/5/2017.	Water and Sewer Service Metro Water Service 1600 2nd Avenue North Nashville, TN 37208 615.862.4598
		Telephone Service BellSouth 866.620.6000
		Utility Location Tennessee One-Call 800.351.1111

Ordinance NO. BL2019-1509

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by amending a Specific Plan on property located at 1638 Bell Road, at the southeast corner of Bell Road and Old Hickory Boulevard (6.64 acres), to permit 70 multi-family residential units, 1,500 square feet of retail use and maintain the existing 31,200 square feet of office/business school, all of which is described herein (Proposal No. 2007SP-156-003).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By amending a Specific Plan on property located at 1638 Bell Road, at the southeast corner of Bell Road and Old Hickory Boulevard, (6.64 acres), to permit 70 multi-family residential units, 1,500 square feet of retail use and maintain the existing 31,200 square feet of office/business school, being Property Parcel No. 105 as designated on Map 162-00 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be on Map 162 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to a maximum 31,200 square feet of business school/office use, 70 multi-family residential units and a maximum of 1,500 square feet of retail use.

- Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:
- 1. Revise Standard SP Note No. 1 to reflect a maximum of 70 multi-family residential units.
 - 2. To ensure that Bell Road is addressed as the principle frontage, the following architectural standards shall apply to the mixed-use building:
 - A minimum of one entrance shall be provided on the façade fronting Bell Road,
 - A minimum of 40% glazing shall be required on the façade fronting Bell Road.
 - The ground floor of the mixed use building shall have a minimum floor to ceiling height of 14 feet.
 - Articulations or alternating building materials shall be incorporated into the buildings to avoid long uninterrupted wall planes.

Section 5. Be it further enacted, a corrected copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 6. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Section 7. Be it further enacted, if a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the MUN-A zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

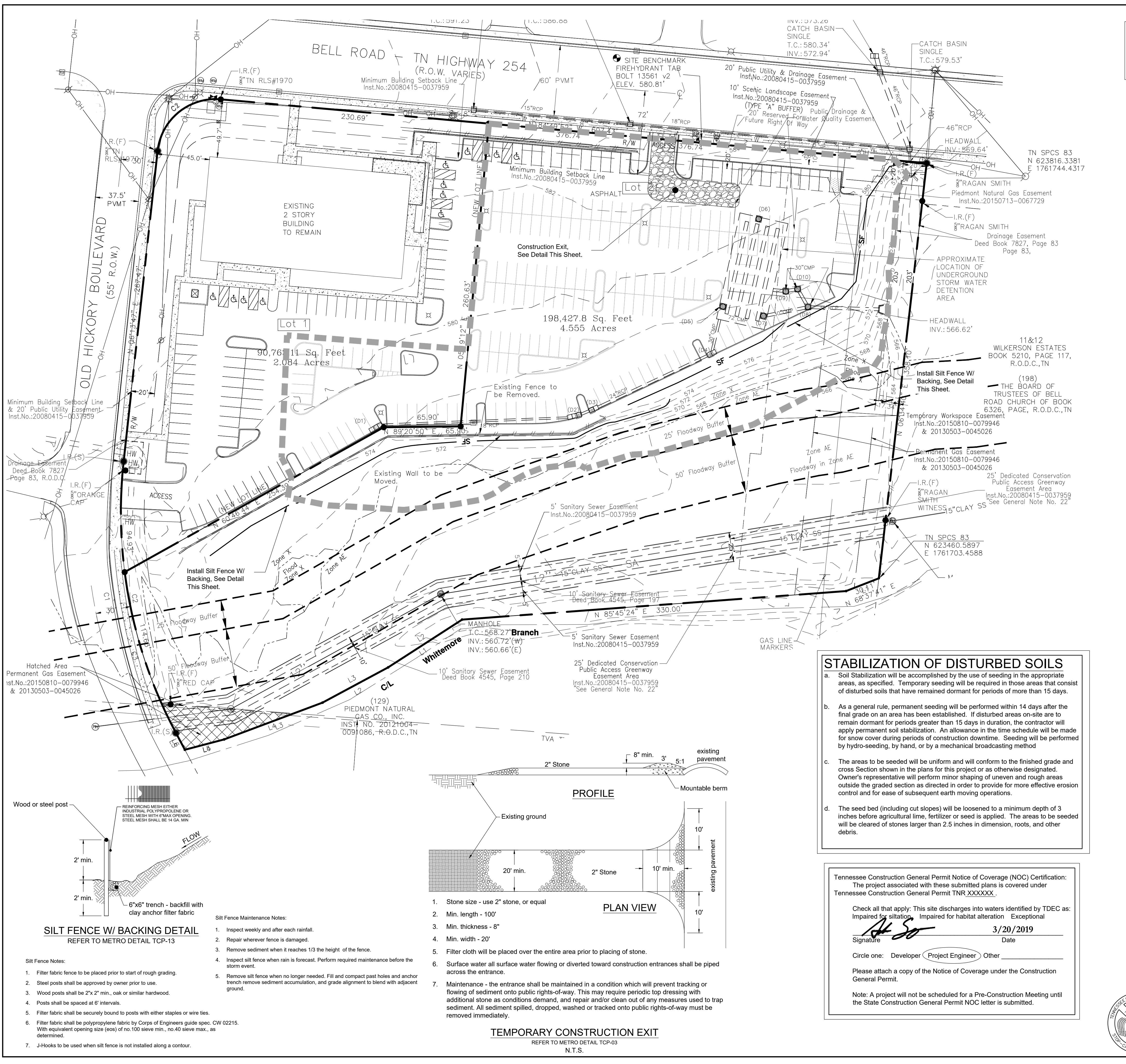
Section 8. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

Specific Plan Development Summary	
Use	This SP allows for the following :
	31,200 SF Business School/Office , 1500 SF Retail, 70 Residential Units
Project Area	289,300 sq ft or 6.64 Acres
Property zoning:	R15 and Surrounding Zoning: CL, R15, and R20
Minimum lot size	N/A
Number of Residential Units/Density	70 units / 10.54 units per acre
FAR	0.40
ISR	0.80 max
Street Setbacks	40' measured from exist R.O.W.
Side yard	10' min. Perimeter
Rear yard	20' measured from Property Line
Height standards	Three Stories in 45 feet (Top of Roof)*
Parking and Access	
Existing Ramp Location and Number	(1) - Bell Road (2) Old Hickory Blvd
Distance to intersection	400 feet
Required Parking Office -	104 spaces ,Retail 15 spaces
Residential Multifamily	53- 1 Bedroom and 17- 2 bedroom = 87 Spaces
Provided Parking	219 spaces (required 206)

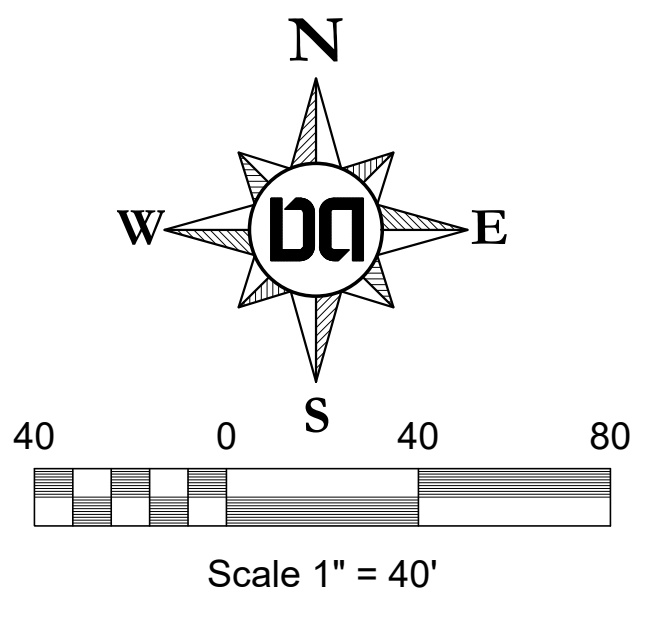
* Retail/residential building is limited to a maximum of 3 stories in 45 feet, to the top of the roof.*
Existing office/business school shall be limited to two stories within a maximum of 35 feet, to the top of roof.

Dale & Associates
Civil Engineering
Land Planning & Zoning
Surveying
516 Heather Place
Nashville, TN 37204
(615) 297-5166

D&A Project #17123
38th SP
C0.0



Stabilization Note:
 All slopes 3:1 or greater to be stabilized with type II erosion control matting or equivalent within 7 days.



Development Summary

Property Information
 Map 162 Parcel 105
 1638 Bell Rd.
 Nashville TN 37211
 Zoned: SP
 Council District 31 - Fabian Bedne

Floodnote
 This Property does Not Lie Within a Flood Hazard Area as Depicted on the Current Flood Insurance Rate Maps (FIRM) Number 47037C0387H Dated 4/5/2017.

Benchmark
 Fire Hydrant Tab
 Elevation = 580.81'

Developer
 Norwood Properties
 Dan McVicker
 Phone: 615 - 479 -1967
 Email: dan@norwoodproperties.net

Civil Engineer and Surveyor
 Dale & Associates (Adam Seger, PE)
 516 Heather Place
 Nashville, Tennessee 37204
 615.297.5166

EXISTING ON SITE STORM DRAIN TABLE

(D1) CATCH BASIN TRIPLE T.C.: 577.85' INV.: 574.45'	(D6) STORM MANHOLE T.C.: 580.38' INV.: 569.88'
(D2) CATCH BASIN DOUBLE T.C.: 576.33' INV.: 572.58'	(D7) STORM MANHOLE T.C.: 577.68' INV.: 569.63'
(D3) CATCH BASIN DOUBLE T.C.: 572.56' INV.: 570.60'	(D8) STORM MANHOLE T.C.: 578.62' INV.: 566.53'
(D4) CATCH BASIN DOUBLE T.C.: 576.81' INV.: 570.21'	(D9) STORM MANHOLE T.C.: 577.91' INV.: 567.19'
(D5) STORM MANHOLE T.C.: 578.05' INV.: 569.77'	(D10) STORM MANHOLE T.C.: 577.91' INV.: 567.17'

Erosion Control and Grading Notes

- Expose as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by sprinkling or other acceptable means.
- All cut/fill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12#/1000 s.f. of 10-10-10 fertilizer (unless otherwise specified in written specifications), 5 lbs. or more of Kentucky 31 fescue seed per 1000 sq. ft., and a straw mulch cover of 70%-80% coverage (approximately 125 lbs. per 1000 sq. ft.), unless otherwise noted within written specifications.
- Erosion control barrier is called out on plans and is to comply with the Metropolitan stormwater management manual, volume four, section TCP-13, and TCP-14.
- Disturbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction.
- The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
- Any access routes to the site shall be based with crushed stone, ASTM #1 stone, 100' long and at least 8" thick.
- The placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 8" thickness (or as directed by the soils investigative report). Said fill material is to be free of sod, roots, frozen soils, or any other decomposable material. Said fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.
- The contractor shall notify the Metro Davidson County department of Public Works construction compliance division, three days prior to beginning the work.
- The contractor shall locate and stake the layout of the site in the field for inspection by the engineer. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the engineer immediately for a decision.
- Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
- The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights.
- The contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction caused by himself, his sub-contractors, or the carelessness of any of his employees.
- All work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portions of work which he is to perform.
- All erosion control measures shall remain in place until site is stabilized & construction is complete.
- Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro cp-10 and cp-13, respectively. Contractor to coordinate exact location with NPDES department during the pre-construction meeting. Grading permittee to include bmp's designed to control site wastes such as discarded building materials, chemicals, litter and sanitary wastes that may cause adverse impacts to water quality. The location of and/or notes referring to said bmp's shall be shown on the EPSC plan.
- The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.
- All perimeter erosion control measures must be in place prior to grading.
- Slopes that are 3:1 or greater are to be stabilized within 7 days.

STABILIZATION OF DISTURBED SOILS

- Soil Stabilization will be accomplished by the use of seeding in the appropriate areas, as specified. Temporary seeding will be required in those areas that consist of disturbed soils that have remained dormant for periods of more than 15 days.
- As a general rule, permanent seeding will be performed within 14 days after the final grade on an area has been established. If disturbed areas on-site are to remain dormant for periods greater than 15 days in duration, the contractor will apply permanent soil stabilization. An allowance in the time schedule will be made for snow cover during periods of construction downtime. Seeding will be performed by hydro-seeding, by hand, or by a mechanical broadcasting method.
- The areas to be seeded will be uniform and will conform to the finished grade and cross section shown in the plans for this project or as otherwise designated. Owner's representative will perform minor shaping of uneven and rough areas outside the graded section as directed in order to provide for more effective erosion control and for ease of subsequent earth moving operations.
- The seed bed (including cut slopes) will be loosened to a minimum depth of 3 inches before agricultural lime, fertilizer or seed is applied. The areas to be seeded will be cleared of stones larger than 2.5 inches in dimension, roots, and other debris.

Tennessee Construction General Permit Notice of Coverage (NOC) Certification:
 The project associated with these submitted plans is covered under Tennessee Construction General Permit TNR XXXXXX.

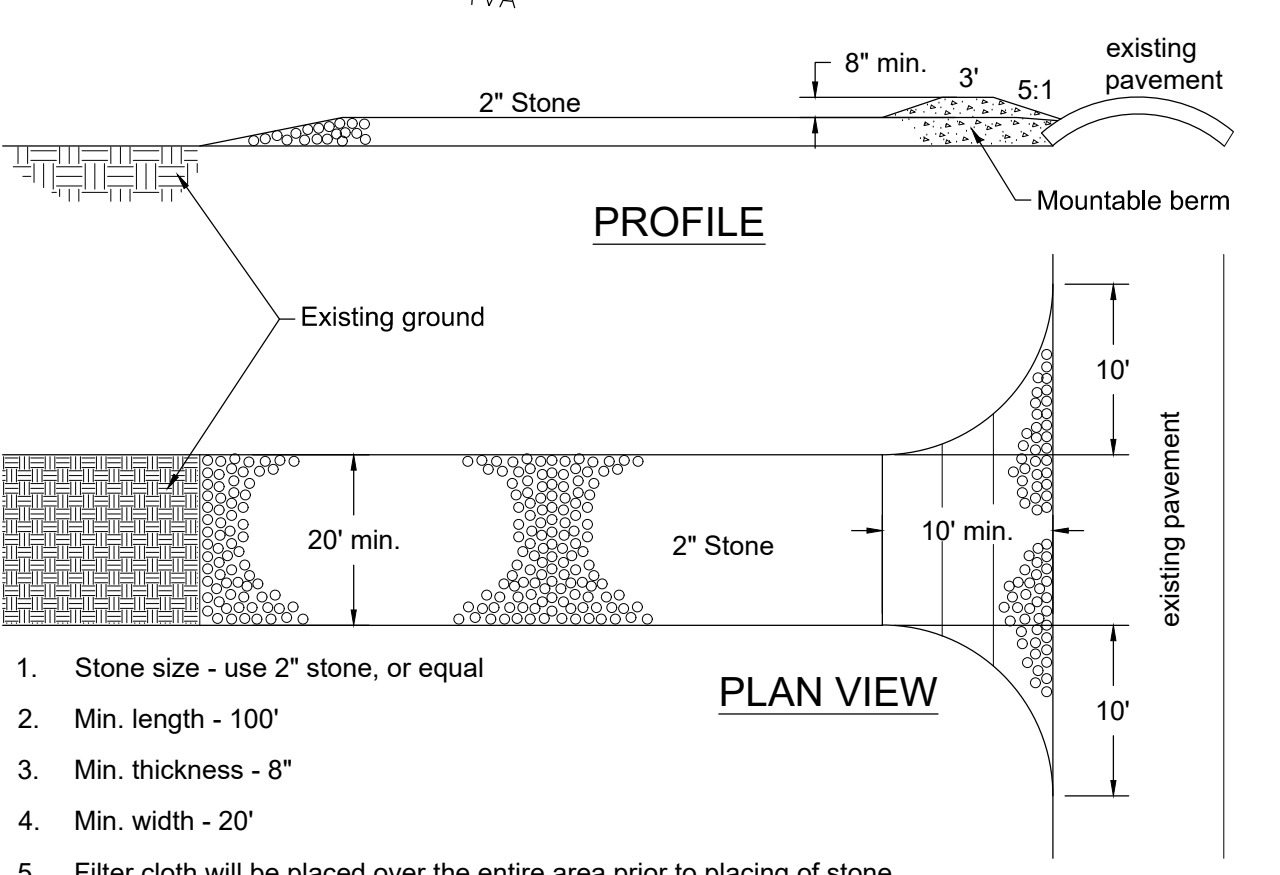
Check all that apply: This site discharges into waters identified by TDEC as:
 Impaired for Siltation, Impaired for habitat alteration, Exceptional

Signature: *AS* Date: 3/20/2019

Circle one: Developer Project Engineer Other

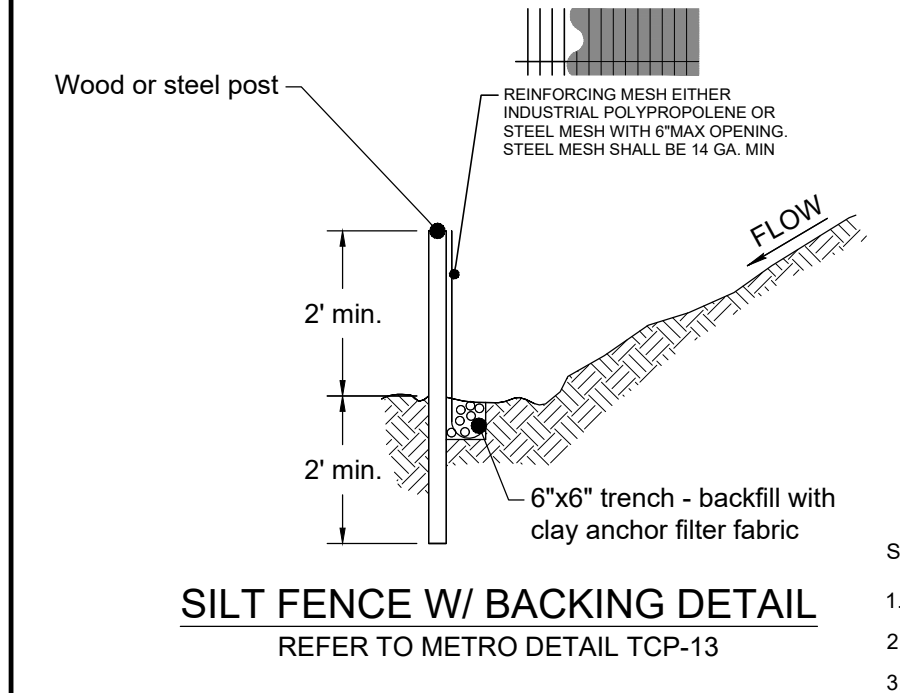
Please attach a copy of the Notice of Coverage under the Construction General Permit.

Note: A project will not be scheduled for a Pre-Construction Meeting until the State Construction General Permit NOC letter is submitted.



- PLAN VIEW**
- Stone size - use 2" stone, or equal
 - Min. length - 100'
 - Min. thickness - 8"
 - Min. width - 20'
 - Filter cloth will be placed over the entire area prior to placing of stone.
 - Surface water all surface water flowing or diverted toward construction entrances shall be piped across the entrance.
 - Maintenance - the entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand, and repair and/or clean out of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.

TEMPORARY CONSTRUCTION EXIT
 REFER TO METRO DETAIL TCP-03
 N.T.S.



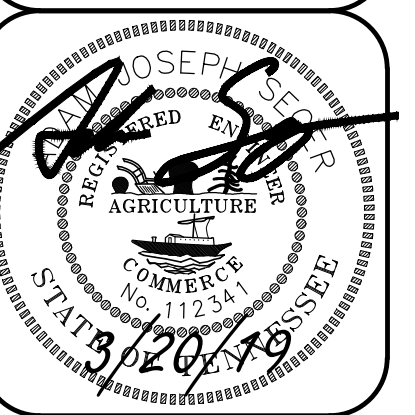
- SILT FENCE W/ BACKING DETAIL**
 REFER TO METRO DETAIL TCP-13
- Silt Fence Notes:
- Filter fabric fence to be placed prior to start of rough grading.
 - Steel posts shall be approved by owner prior to use.
 - Wood posts shall be 2"x2" min., oak or similar hardwood.
 - Posts shall be spaced at 6' intervals.
 - Filter fabric shall be securely bound to posts with either staples or wire ties.
 - Filter fabric shall be polypropylene fabric by Corps of Engineers guide spec. CW 02215. With equivalent opening size (eos) of no. 100 sieve min., no. 40 sieve max., as determined.
 - J-Hooks to be used when silt fence is not installed along a contour.

- Silt Fence Maintenance Notes:
- Inspect weekly and after each rainfall.
 - Repair wherever fence is damaged.
 - Remove sediment when it reaches 1/3 the height of the fence.
 - Inspect silt fence when rain is forecast. Perform required maintenance before the storm event.
 - Remove silt fence when no longer needed. Fill and compact post holes and anchor trench remove sediment accumulation, and grade alignment to blend with adjacent ground.

Drawing Date:
 March 18, 2019

Revisions
 XX/XX/XX - <description>
 XX/XX/XX - <description>
 XX/XX/XX - <description>

Site Plan for
Brentwood Lofts
 Map 162 Parcel 105
 Nashville, Davidson, Tennessee



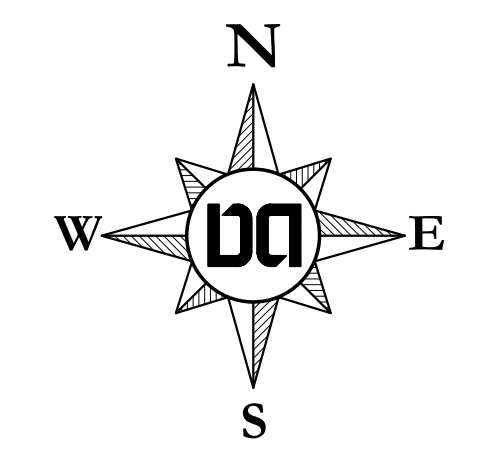
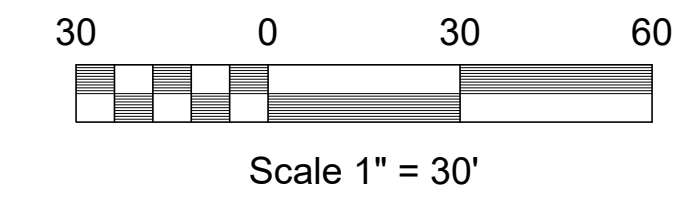
Existing Conditions and Initial Erosion Control Plan

Dale & Associates
 Civil Engineering
 Land Planning & Zoning
 Surveying
 516 Heather Place
 Nashville, TN 37204
 (615) 297-5166

D&A Project #19016
 Brentwood Lofts
C1.0

Drawing Date:
March 18, 2019

Revisions
XX/XX/XX - <description>
XX/XX/XX - <description>
XX/XX/XX - <description>



Development Summary

Property Information
Map 162 Parcel 105
1638 Bell Rd.
Nashville TN 37211
Zoned: SP
Council District 31 - Fabian Bedne

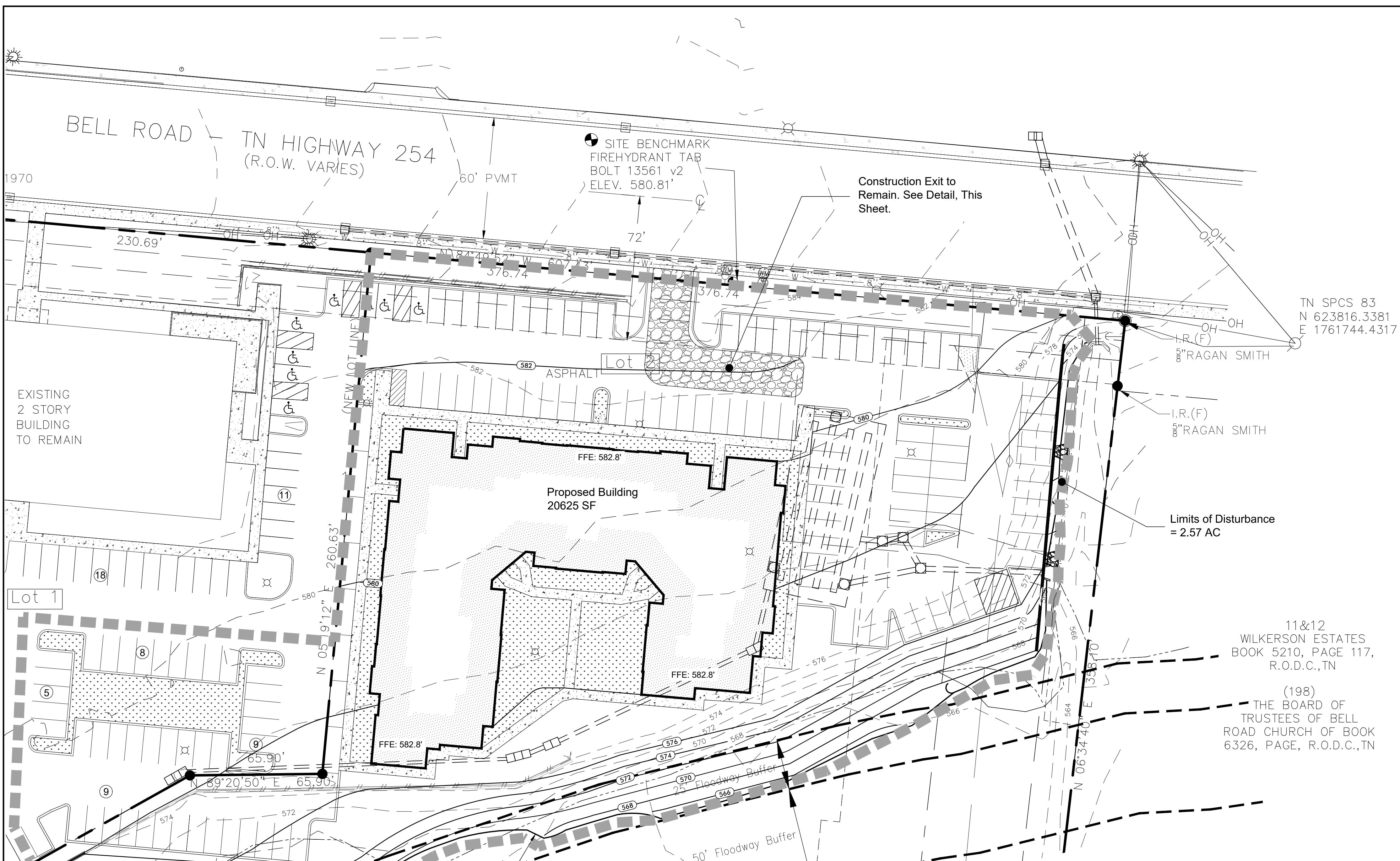
Floodnote
This Property does Not Lie Within a Flood Hazard Area as Depicted on the Current Flood Insurance Rate Maps (FIRM) Number 47037C0387H Dated 4/5/2017.

Benchmark
Fire Hydrant Tab
Elevation = 580.81'

Developer
Norwood Properties
Dan McVicker
Phone: 615 - 479 - 1967
Email: dan@norwoodproperties.net

Civil Engineer and Surveyor
Dale & Associates (Adam Seger, PE)
516 Heather Place
Nashville, Tennessee 37204
615.297.5166

Stabilization Note:
All slopes 3:1 or greater to be stabilized with type II erosion control matting or equivalent within 7 days.



Erosion Control and Grading Notes

- Expose as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by sprinkling or other acceptable means.
- All cut/fill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12#/1000 s.f. of 10-10-10 fertilizer (unless otherwise specified in written specifications), 5 lbs. or more of Kentucky 31 fescue seed per 1000 sq. ft., and a straw mulch cover of 70%-80% coverage (approximately 125 lbs. per 1000 sq. ft.), unless otherwise noted within written specifications.
- Erosion control barrier is called out on plans and is to comply with the Metropolitan stormwater management manual, volume four, section TCP-13, and TCP-14.
- Disturbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction.
- The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
- Any access routes to the site shall be based with crushed stone, ASTM #1 stone, 100' long and at least 8" thick.
- The placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 8" thickness (or as directed by the soils investigative report). Said fill material is to be free of sod, roots, frozen soils, or any other decomposable material. Said fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.
- The contractor shall notify the Metro Davidson County department of Public Works construction compliance division, three days prior to beginning the work.
- The contractor shall locate and stake the layout of the site in the field for inspection by the engineer. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the engineer immediately for a decision.
- Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
- The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights.
- The contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction caused by himself, his sub-contractors, or the carelessness of any of his employees.
- All work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portions of work which he is to perform.
- All erosion control measures shall remain in place until site is stabilized & construction is complete.
- Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro cp-10 and cp-13, respectively. Contractor to coordinate exact location with NPDES department during the pre-construction meeting. Grading permittee to include bmp's designed to control site wastes such as discarded building materials, chemicals, litter and sanitary wastes that may cause adverse impacts to water quality. The location of and/or notes referring to trap bmp's shall be shown on the EPSC plan.
- The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.
- All perimeter erosion control measures must be in place prior to grading.
- Slopes that are 3:1 or greater are to be stabilized within 7 days.

STABILIZATION OF DISTURBED SOILS

- Soil Stabilization will be accomplished by the use of seeding in the appropriate areas, as specified. Temporary seeding will be performed in those areas that consist of disturbed soils that have remained dormant for periods of more than 15 days.
- As a general rule, permanent seeding will be performed within 14 days after the final grade on an area has been established. If disturbed areas on-site are to remain dormant for periods greater than 15 days in duration, the contractor will apply permanent soil stabilization. An allowance in the time schedule will be made for snow cover during periods of construction downtime. Seeding will be performed by hydro-seeding, by hand, or by a mechanical broadcasting method.
- The areas to be seeded will be uniform and will conform to the finished grade and cross section shown in the plans for this project or as otherwise designated. Owner's representative will perform minor shaping of uneven and rough areas outside the graded section as directed in order to provide for more effective erosion control and for ease of subsequent earth moving operations.
- The seed bed (including cut slopes) will be loosened to a minimum depth of 3 inches before agricultural lime, fertilizer or seed is applied. The areas to be seeded will be cleared of stones larger than 2.5 inches in dimension, roots, and other debris.

Tennessee Construction General Permit Notice of Coverage (NOC) Certification:
The project associated with these submitted plans is covered under Tennessee Construction General Permit TNR XXXXXXX.

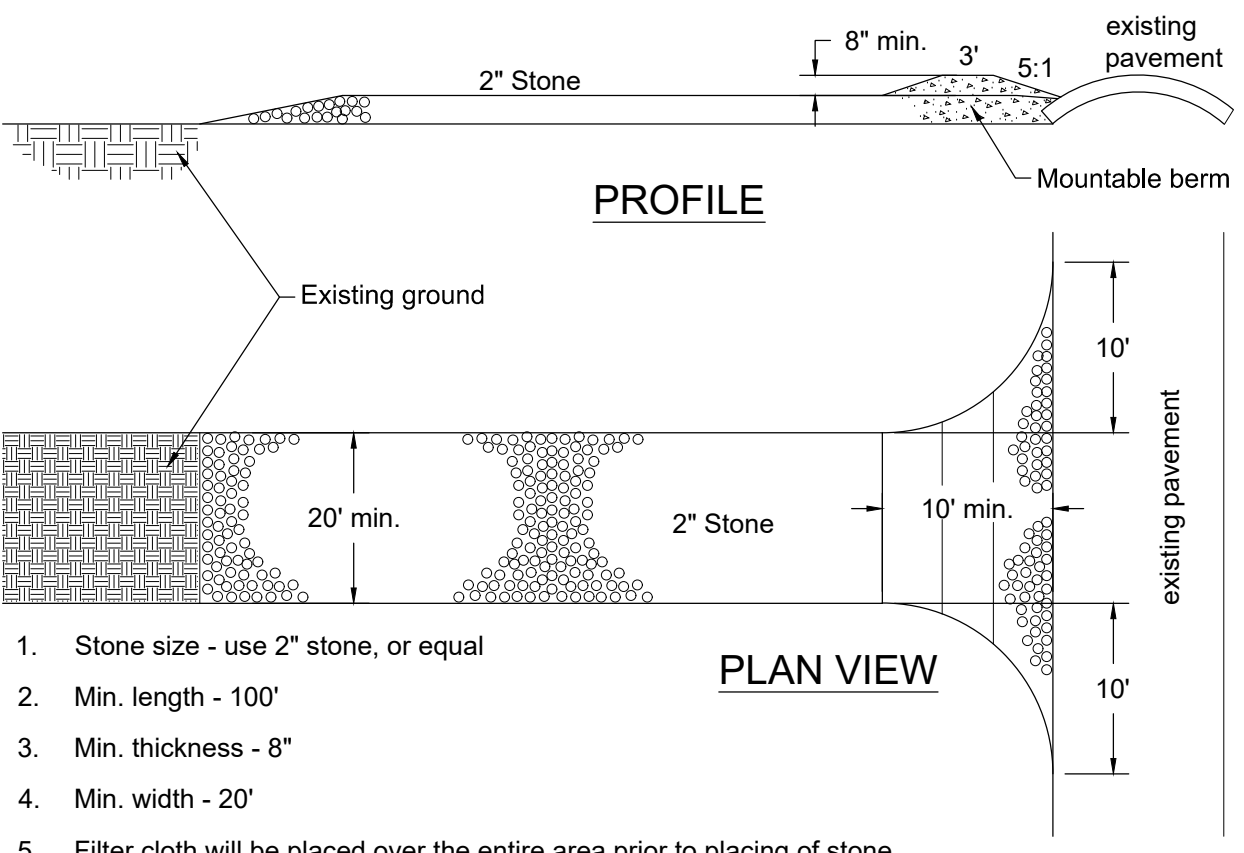
Check all that apply: This site discharges into waters identified by TDEC as:
Impaired for siltation Impaired for habitat alteration Exceptional

Signature: *[Signature]* Date: 3/20/2019

Circle one: Developer Project Engineer Other

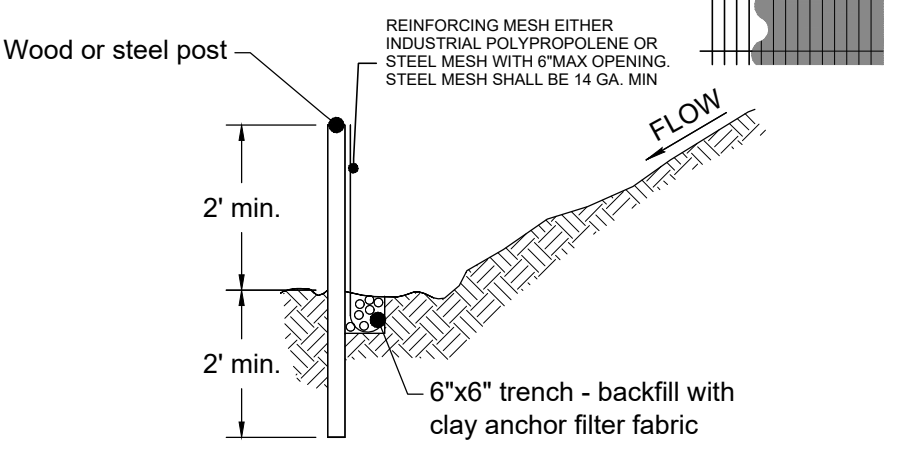
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N.T.S.

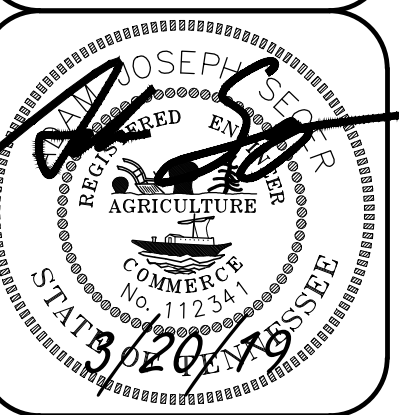


SILT FENCE W/ BACKING DETAIL
REFER TO METRO DETAIL TCP-13

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Site Plan for
Brentwood Lofts
Map 162 Parcel 105
Nashville, Davidson, Tennessee



Intermediate Erosion Control Plan

Dale & Associates
516 Heather Place
Nashville, TN 37204
(615) 297-5166
Civil Engineering
Land Planning & Zoning
Surveying

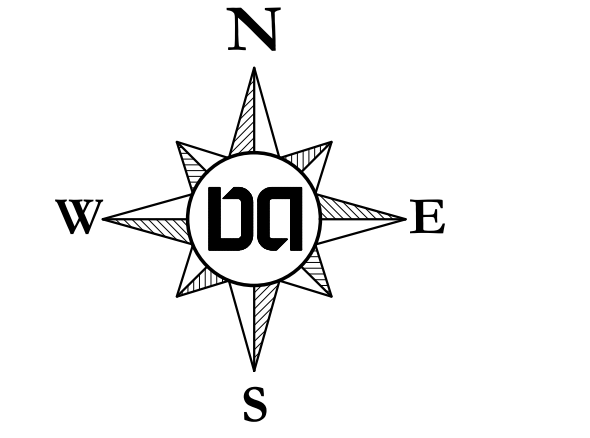
D&A Project #19016
Brentwood Lofts
C1.1



PERMITS:

Drawing Date:
March 18, 2019

Revisions
XX/XX/XX - <description>
XX/XX/XX - <description>
XX/XX/XX - <description>



Scale 1" = 40'

Development Summary

Property Information
Map 162 Parcel 105
1638 Bell Rd.
Nashville TN 37211
Zoned: SP
Council District 31 - Fabian Bedne

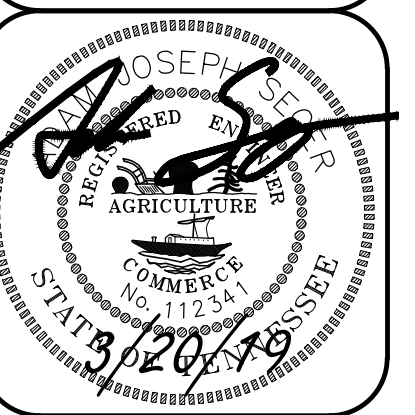
Floodnote
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Benchmark
Fire Hydrant Tab
Elevation = 580.81'

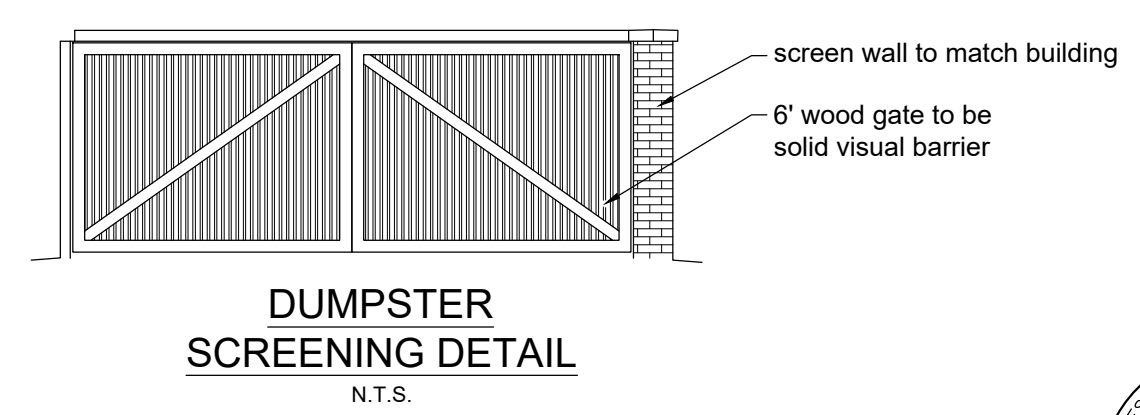
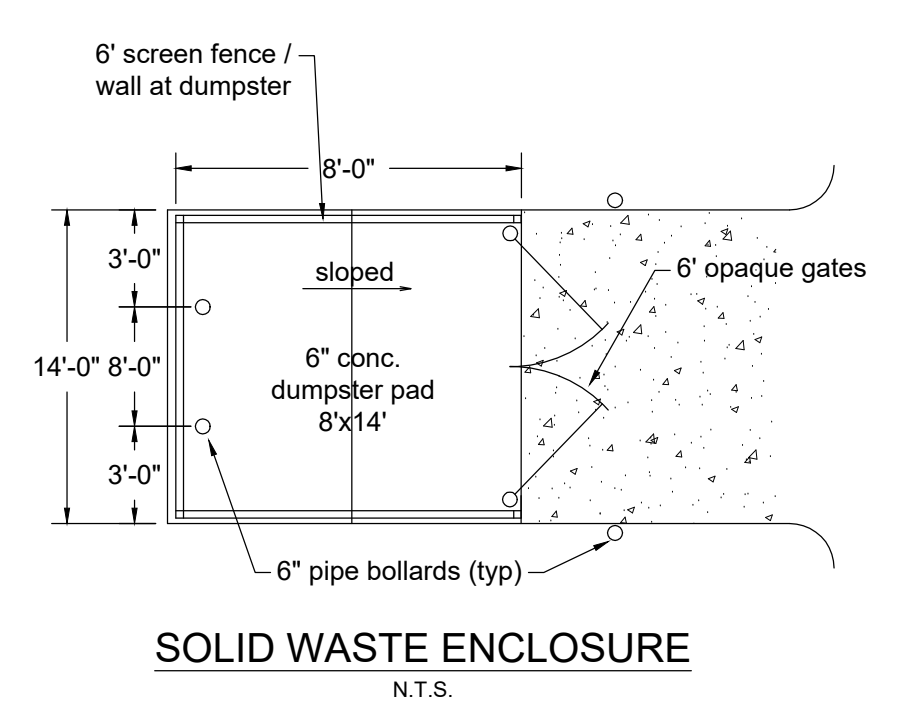
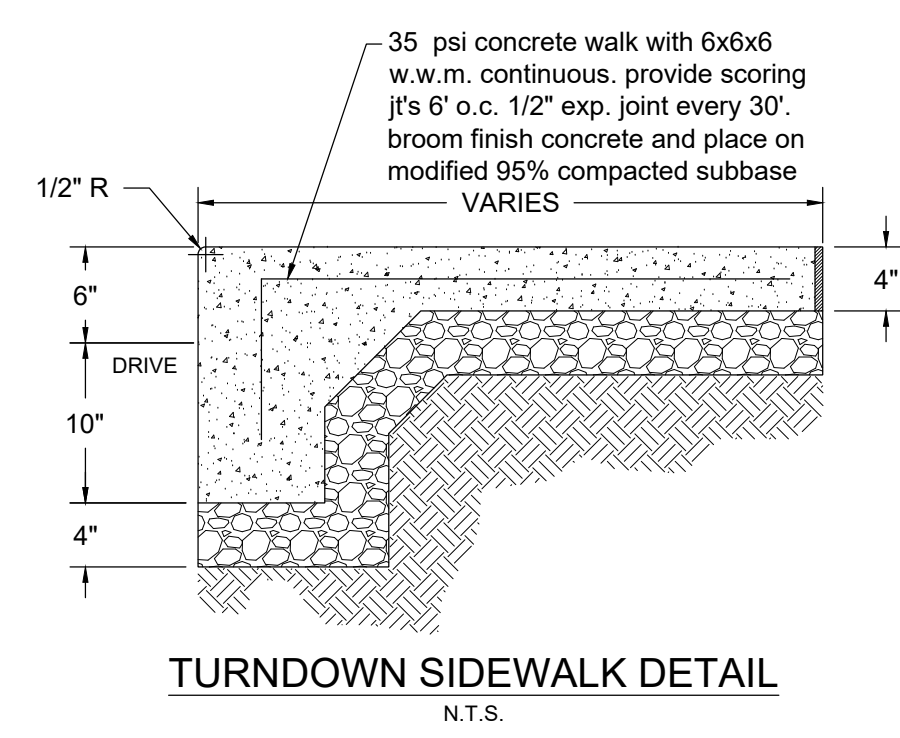
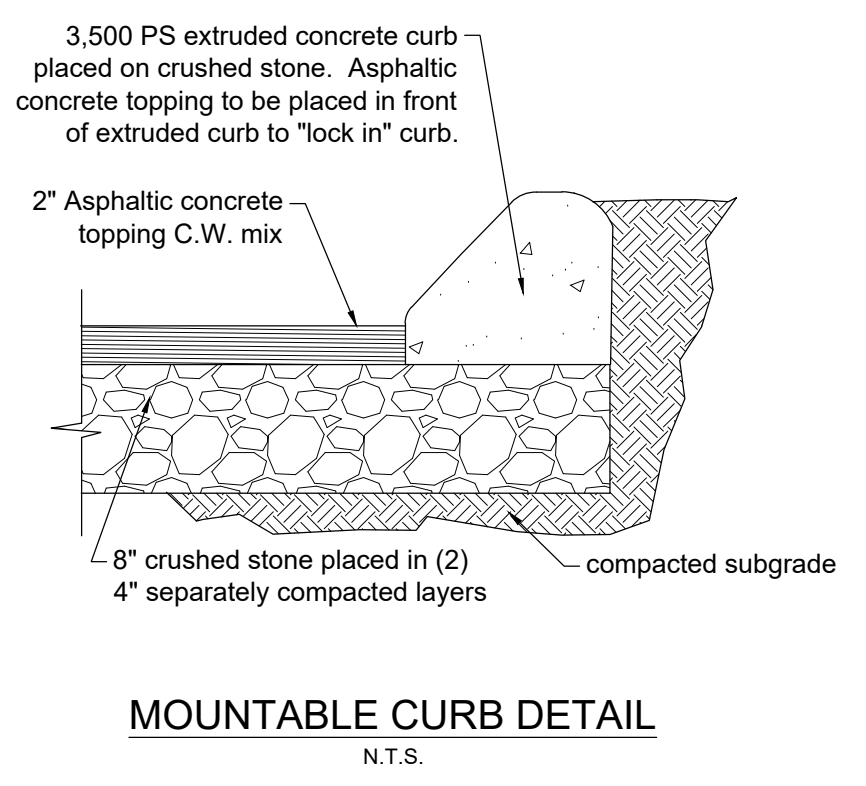
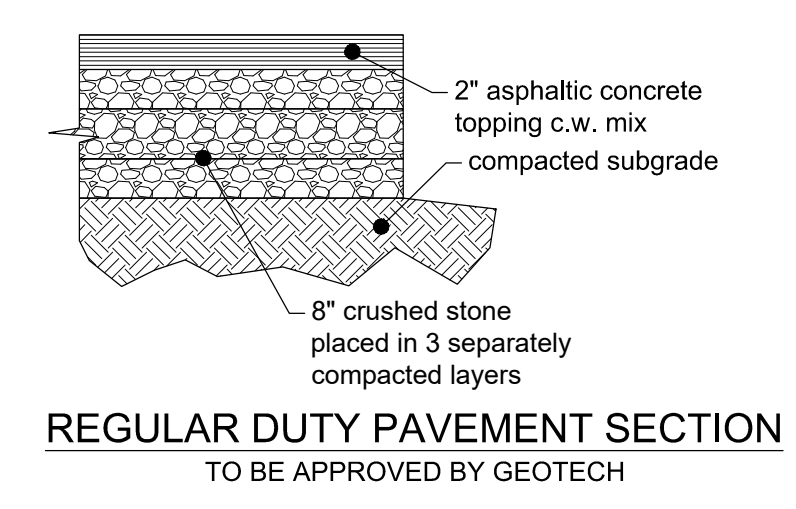
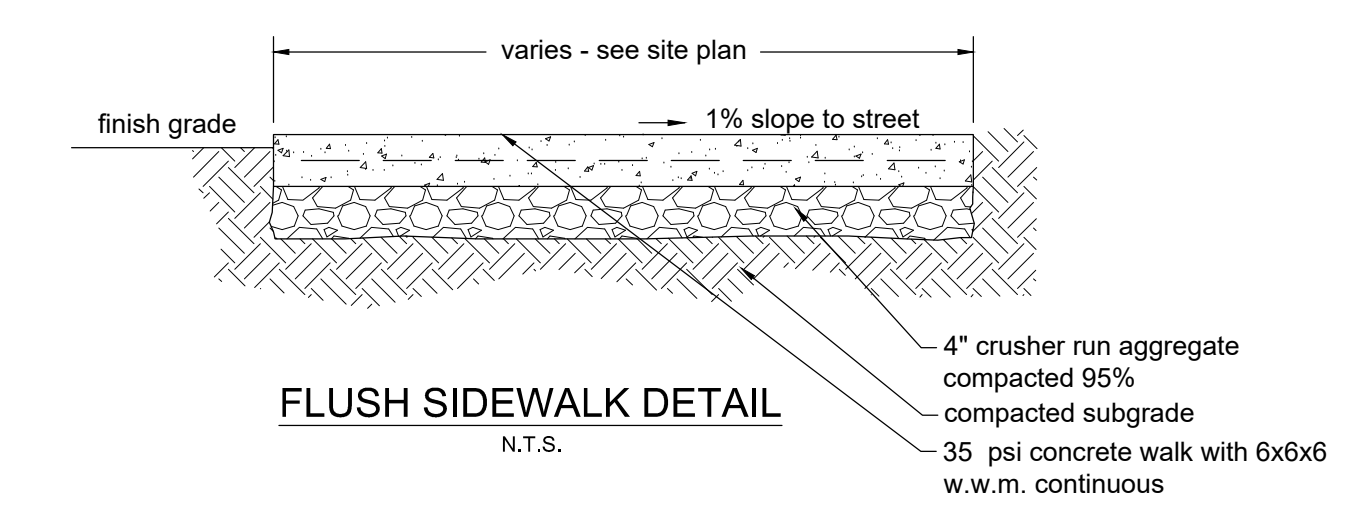
Developer
Norwood Properties
Dan McVicker
Phone: 615 - 479 -1967
Email: dan@norwoodproperties.net

Civil Engineer and Surveyor
Dale & Associates (Adam Seger, PE)
516 Heather Place
Nashville, Tennessee 37204
615.297.5166

Site Plan for
Brentwood Lofts
Map 162 Parcel 105
Nashville, Davidson, Tennessee



Lot 1 Parking Summary	Lot 2 Parking Summary
Required Parking To be established by the traffic Engineer (College)	Required Parking 1 Bed X 53 Units = 53 Spaces 2 Bed X 17 Units = 34 Spaces 1,543 Sq. Ft. Retail = 8 Spaces
Proposed Parking 118 Spaces	Proposed Parking Total = 95 Spaces 101 Spaces

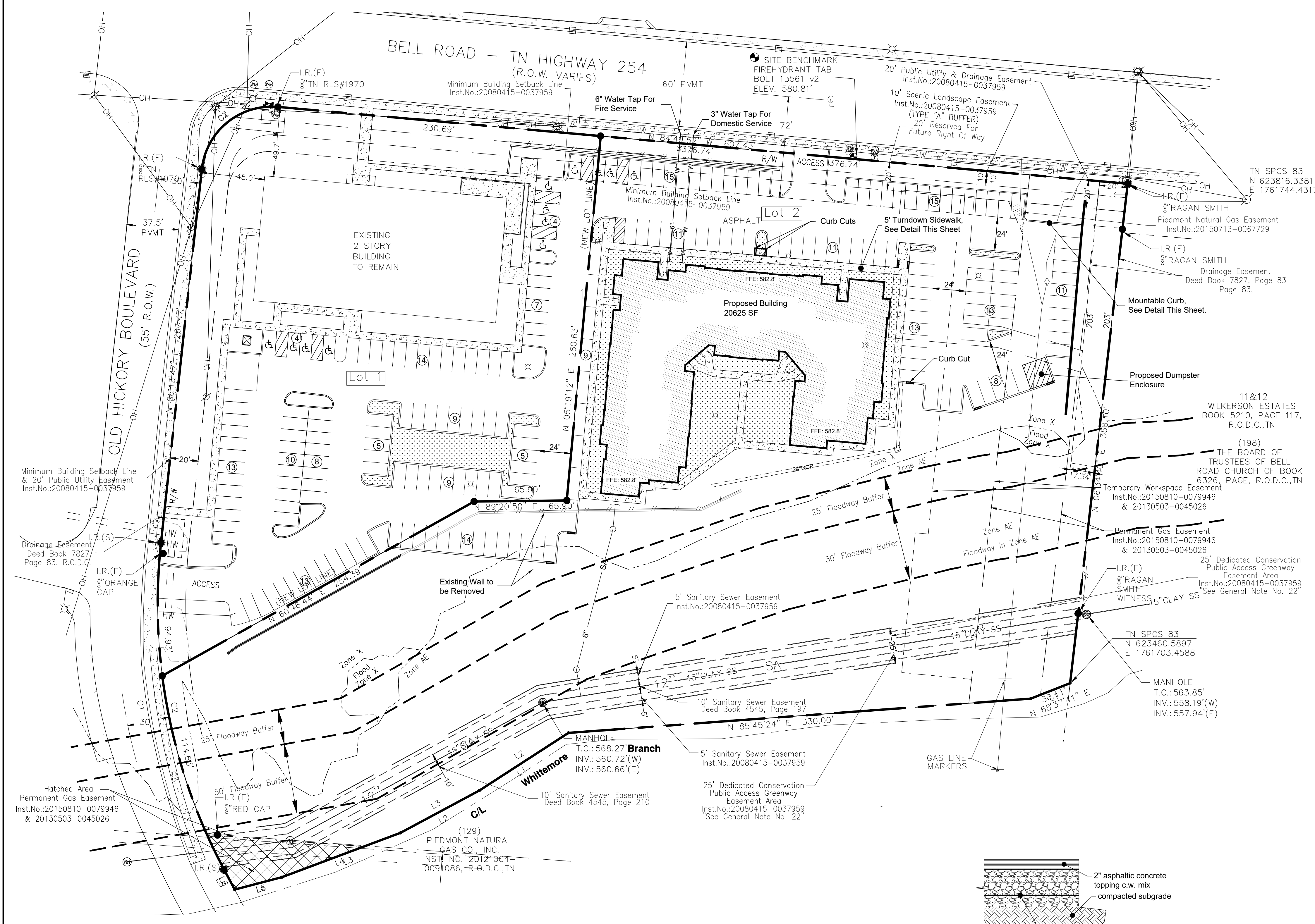


PERMITS:



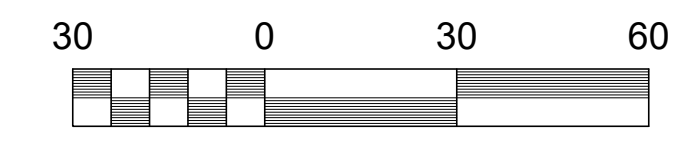
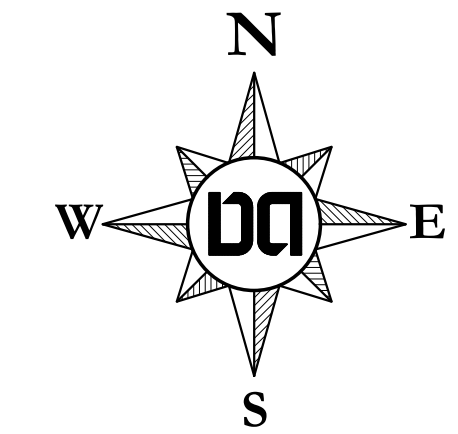
Dale & Associates
516 Heather Place
Nashville, TN 37204
(615) 297-5166

D&A Project #19016
Brentwood Lofts
C2.0



Drawing Date:
March 18, 2019

Revisions
XX/XX/XX - <description>
XX/XX/XX - <description>
XX/XX/XX - <description>



Development Summary

Property Information
Map 162 Parcel 105
1638 Bell Rd.
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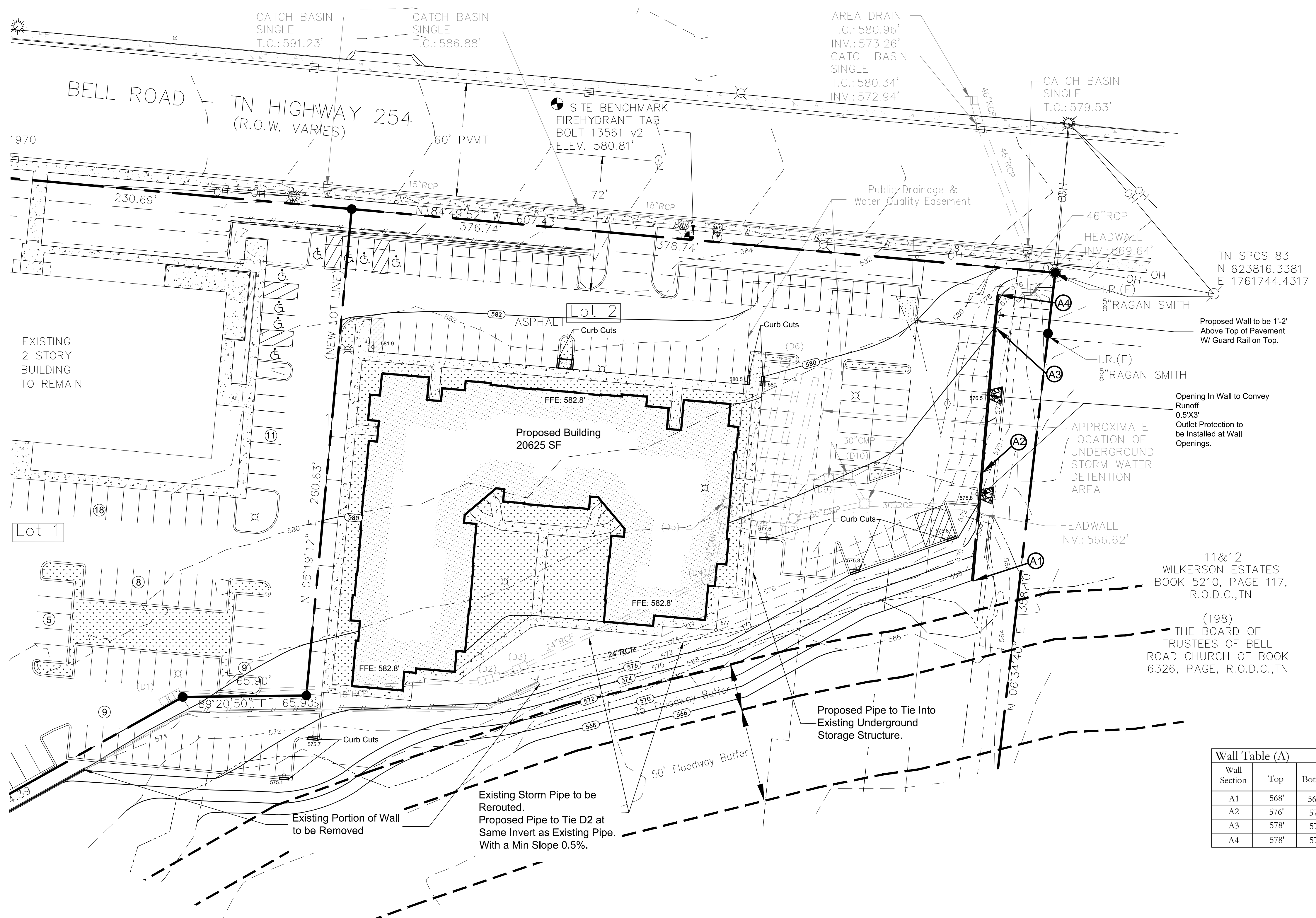
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Dan McVicker
Phone: 615 - 479 -1967
Email: dan@norwoodproperties.net

Civil Engineer and Surveyor
Dale & Associates (Adam Seger, PE)
516 Heather Place
Nashville, Tennessee 37204
615.297.5166

In accordance with the Metro Stormwater Manual, Volume 1, Section 3.9, As-Built Certifications, MWS Stormwater Division must approve the following as-builts prior to issuance of the use & occupancy permit:

- Underground detention and water quality infrastructure
- Public storm sewer infrastructure
- Cut and fill in the floodplain
- Sink hole alterations
- Bioretention

The engineer shall contact stormwater development review staff for submittal requirements.

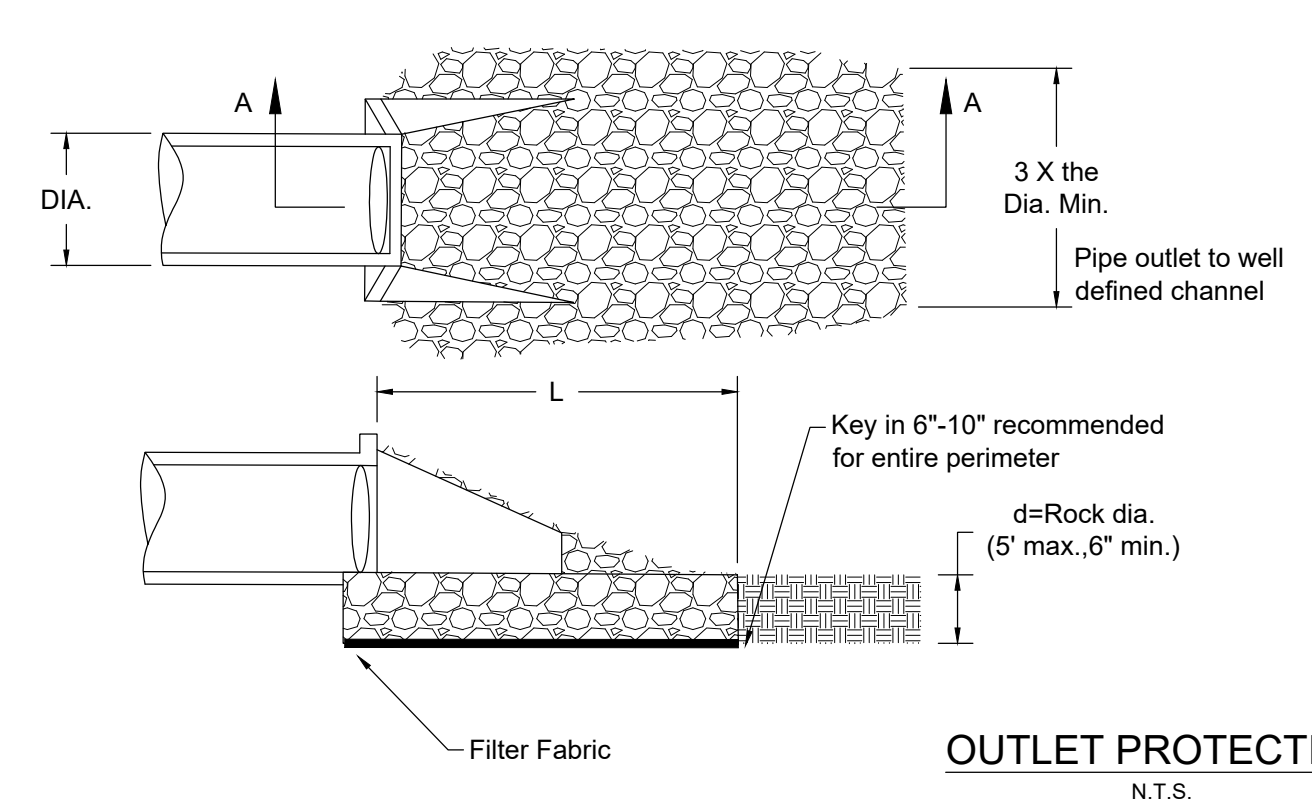


Wall Table (A)

Wall Section	Top	Bottom	Height	Length
A1	568'	568'	0'	58'
A2	570'	570'	6'	77.5'
A3	578'	574'	4'	
A4	578'	577'	1'	17.5'

EXISTING ON SITE STORM DRAIN TABLE

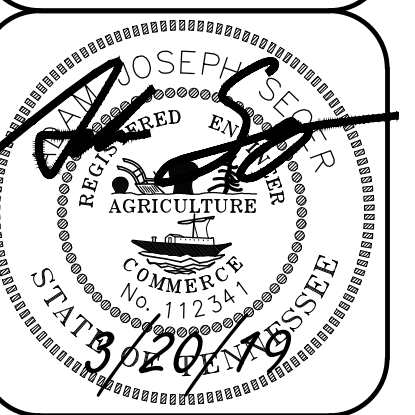
(D1) CATCH BASIN TRIPLE T.C.: 577.85' INV.: 574.45'	(D6) STORM MANHOLE T.C.: 580.38' INV.: 569.88'
(D2) CATCH BASIN DOUBLE T.C.: 576.33' INV.: 572.58'	(D7) STORM MANHOLE T.C.: 577.68' INV.: 569.63'
(D3) CATCH BASIN DOUBLE T.C.: 572.56' INV.: 570.60'	(D8) STORM MANHOLE T.C.: 578.62' INV.: 566.53'
(D4) CATCH BASIN DOUBLE T.C.: 576.81' INV.: 570.21'	(D9) STORM MANHOLE T.C.: 577.87' INV.: 567.19'
(D5) STORM MANHOLE T.C.: 578.05' INV.: 569.77'	(D10) STORM MANHOLE T.C.: 577.91' INV.: 567.17'



Section A-A

Pipe Dia (in.)	Discharge (ft ³ /s)	Apron Len (L)	Rip-Rap D ₅₀ Dia. (in.)
12"	4.9	10	4
	9.89	13	6
	18"	9.89	10
18"	20.13	16	8
	30.01	23	12
	39.90	26	16
	24"	30.01	16
39.90		26	8
50.14		26	12
60.03		30	16

Site Plan for
Brentwood Lofts
Map 162 Parcel 105
Nashville, Davidson, Tennessee



Grading Plan

PERMITS:

Dale & Associates
516 Heather Place
Nashville, TN 37204
(615) 297-5166

Civil Engineering
Land Planning & Zoning
Surveying

D&A Project #19016
Brentwood Lofts
C3.0

