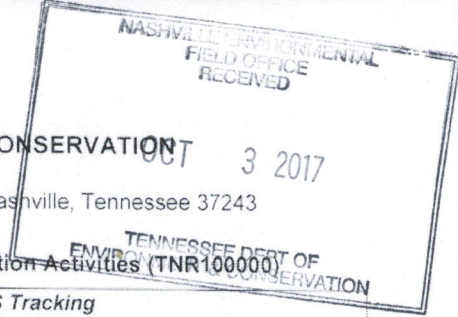




TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION

Division of Water Resources

William R. Snodgrass Tennessee Tower, 312 Rosa L. Parks Avenue, 11th Floor, Nashville, Tennessee 37243  
1-888-891-8332 (TDEC)



Notice of Intent (NOI) for General NPDES Permit for Stormwater Discharges from Construction Activities (TNR100000)

|   |   |  |                                    |
|---|---|--|------------------------------------|
| <b>Site or Project Name:</b> Building 3 for 31W Insulation Facility   |   | <b>NPDES Tracking Number:</b> TNR  |                                    |
| <b>Street Address or Location:</b> 7434 Cycle Lane  |   | <b>Construction Start Date:</b> 10/2017  |                                    |
|   |   | <b>Estimated End Date:</b> 10/2018   |                                    |
| <b>Site Description:</b> Proposed 12,000 SF Warehouse Facility  |   | <b>Latitude (dd.ddd):</b> 36.416029  |                                    |
|   |   | <b>Longitude (-dd.ddd):</b> -86.715062   |                                    |
| <b>County(ies):</b> Robertson   | <b>MS4 Jurisdiction (if applicable):</b> Millersville | <b>Acres Disturbed:</b> 2.0  | <b>Total Acres:</b> 7.5            |
| Check the appropriate box(s) if there are streams and/or wetlands on or adjacent to the construction site: Streams <input type="checkbox"/> Wetlands <input type="checkbox"/>   |   |  |                                    |
| If wetlands are located on-site and may be impacted, attach wetlands delineation report.  |   |  |                                    |
| If an Aquatic Resource Alteration Permit (ARAP) has been obtained for this site, what is the permit number?   |   |  |                                    |
| Receiving waters: Sulphur Fork  |   |  |                                    |
| Attach the SWPPP with the NOI: SWPPP Attached <input checked="" type="checkbox"/>   |   | Attach a site location map: Map Attached <input checked="" type="checkbox"/>                       |                                    |
| <b>Site Owner/Developer (Primary Permittee):</b> (Provide person, company, or entity that has operational or design control over construction plans and specifications): 31-W Realty, LLC   |   |  |                                    |
| For corporate entities only, provide correct Tennessee Secretary of State (SOS) Control Number: 000667737<br>(an incorrect SOS control number may delay NOI processing)   |   |  |                                    |
| <b>Site Owner or Developer Contact Name:</b> (individual responsible for site)<br>Andy Rippy  |   | <b>Title or Position:</b> (the party who signs the certification below)<br>Chief Operating Officer |                                    |
| <b>Mailing Address:</b> 7434 Cycle Lane   |   | <b>City:</b> Goodlettsville  | <b>State:</b> TN <b>Zip:</b> 37072 |
| <b>Phone:</b> (615) 643-8686  | <b>Fax:</b> (615) 643-8787                            | <b>E-mail:</b> andy.rippy@31w.com  |                                    |
| <b>Optional Contact:</b> Lynn Ealey   |   | <b>Title or Position:</b> Engineer   |                                    |
| <b>Mailing Address:</b> 2925 Berry Hill Drive   |   | <b>City:</b> Nashville   | <b>State:</b> TN <b>Zip:</b> 37204 |
| <b>Phone:</b> (615) 969-9202  | <b>Fax:</b> ( )                                       | <b>E-mail:</b> lynn@landsolutionsco.net  |                                    |
| <b>Owner/Developer Certification:</b> (must be signed by president, vice-president or equivalent, or ranking elected official) (Primary Permittee)  |   |  |                                    |
| I certify under penalty of law that this document and all attachments were prepared by me, or under my direction or supervision. The submitted information is to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment. As specified in Tennessee Code Annotated Section 39-16-702(a)(4), this declaration is made under penalty of perjury.  |   |  |                                    |
| <b>Owner/Developer Name:</b> (print/type) Andy Rippy  |   | <b>Signature:</b> <i>[Signature]</i>   | <b>Date:</b> 9/12/17               |
| <b>Contractor(s) Certification:</b> (must be signed by president, vice-president or equivalent, or ranking elected official) (Secondary Permittee)  |   |  |                                    |
| I certify under penalty of law that I have reviewed this document, any attachments, and the SWPPP referenced above. Based on my inquiry of the construction site owner/developer identified above and/or my inquiry of the person directly responsible for assembling this NOI and SWPPP, I believe the information submitted is accurate. I am aware that this NOI, if approved, makes the above-described construction activity subject to NPDES permit number TNR100000, and that certain of my activities on-site are thereby regulated. I am aware that there are significant penalties, including the possibility of fine and imprisonment for knowing violations, and for failure to comply with these permit requirements. As specified in Tennessee Code Annotated Section 39-16-702(a)(4), this declaration is made under penalty of perjury. |   |  |                                    |
| <b>Contractor name, address, and SOS control number (if applicable):</b><br>Wayne Day Enterprise 7434 Cycle Lane<br>Goodlettsville TN 37072 49225   |   | <b>Signature:</b>  | <b>Date:</b>                       |
| <b>Contractor name, address, and SOS control number (if applicable):</b>  |   | <b>Signature:</b>  | <b>Date:</b>                       |

|                                |                                       |                              |  |                                 |
|--------------------------------|---------------------------------------|------------------------------|--|---------------------------------|
| <b>OFFICIAL STATE USE ONLY</b> |                                       |                              |  |                                 |
| <b>Received Date:</b> 10-3-17  | <b>Reviewer:</b>                      | <b>Field Office:</b> 04      | <b>Permit Tracking Number:</b> TNR 242083  | <b>Exceptional TN Water:</b>    |
| <b>Fee(s):</b> 250.            | <b>T &amp; E Aquatic Flora/Fauna:</b> | <b>SOS Corporate Status:</b> | <b>Waters with Unavailable Parameters:</b> | <b>Notice of Coverage Date:</b> |



**STORM WATER POLLUTION PREVENTION PLAN**  
**For Building 3 for 31W Insulation**

**A. SITE DESCRIPTION**

1. The proposed development consists of an approximately 12,000 SF warehouse building with associated access roads, parking and utilities. The purpose of this Storm Water Pollution Prevention Plan and Notice of Intent is to obtain permitting to construct this development which will disturb 2.0 acres. Runoff from the site drains to Webb Branch, which is a tributary to Sulphur Fork. The SWPPP shall be kept on site in the mailbox assigned or laminated and mounted on site information board.

Sulphur Fork is listed as an exceptional stream; therefore all erosion prevention measures have been designed to handle the runoff associated with a 5-year, 24-hour storm event for the Nashville, TN area (approximately 4.5”).

- a. The construction will include grading, drainage, utilities, paving and building construction. The runoff from impervious areas will flow to an existing swale that discharges to a pond that will be modified for the additional runoff.
  - b. The sequence of major activities that will disturb soils for a major portion of the site include the following in this order: installation of erosion control measures, mass grading, construction of infrastructure, paving, building construction, and final stabilization.
  - c. The area disturbed by the construction is approximately 2.0 acres.
  - d. The majority of existing slopes are between 2-15%. Please see the attached grading plans for proposed grades. There are proposed 3:1 tie slopes to be stabilized using erosion control matting.
  - e. Soil data sheets are on file with the design engineer and are available upon request.
  - f. The runoff coefficient (C) for this property before construction is approximately 0.50 (based on the Rational Method for determining peak discharge,  $Q=CiA$  where c is the runoff coefficient).
  - g. The runoff coefficient (C) for this property after construction is complete will be approximately 0.60 (based on the Rational Method for determining peak discharge,  $Q=CiA$  where c is the runoff coefficient).
  - h. Please see the attached plans for erosion prevention and sediment control. The area to be disturbed is shown on the attached grading plan by solid contours. The dashed contours represent existing ground and areas to remain undisturbed.
  - i. There will be no discharge associated with industrial activity other than construction stormwater that originates on site as permitted.
  - j. The receiving water for this site is Sulphur Fork.
  - k. This project will not disturb more than 50 acres.
  - l. The limits of disturbance are shown on the attached plans and exhibits.
2. Construction shall proceed in the following manner:
    - a. Install stabilized construction entrance, rock check dams and sediment basin.
    - b. Grading the site and install culverts.
    - c. Temporarily seed denuded areas.
    - d. Install utilities to the building pad.
    - e. Place base stone, curb and asphalt for the parking lot.

- f. Construct building.
- g. Complete final grading and paving.
- h. Install permanent seeding or sod and landscaping.
- i. Remove all temporary erosion and sediment control devices (only if site is stabilized). The site is stabilized when all soil-disturbing activities are completed and a uniform perennial vegetative cover with a density of 70% of the cover for unpaved areas and areas not covered by permanent structures has been employed.

*Note: The contractor shall be responsible for implementing, restoring, and/or revising the temporary sediment and erosion control measures (silt fences, straw bale barriers, temporary diversion dikes, etc.) as necessary during construction to help prevent soil erosion and storm water pollution*

3. Erosion prevention and sediment control measures must be in place and functional before earth moving operations begin, and must be constructed and maintained throughout the construction period. Temporary measures may be removed at the beginning of the workday, but must be replaced at the end of the workday.
4. The subject site consists of a total of 2.0 acres which will be disturbed during the construction of this section. The area to be disturbed is shown on the attached grading plan by solid contours. The dashed contours represent existing ground and areas to remain undisturbed. Clearing, grading and construction of the site shall proceed in accordance with the Grading & Erosion Control Notes on the attached plans.
5. Geographically, this project is located north of Cycle Lane and south of Bethel Road.
6. An Erosion Control Plan for this development has been included as part of this Storm Water Pollution Prevention Plan. All drainage patterns, areas of soil disturbance, structural controls, and nonstructural controls will be shown therein.
7. The runoff from the site will flow to Sulphur Fork.

## **B. CONTROLS**

1. Erosion and Sediment Controls
  - a. *Stabilization Practices.* The vegetation within the scope of the project site development will be removed with the exception of those trees to remain. The areas in which no disturbance shall be allowed are shown on the Grading and Erosion Control Plan. When deficient soil is encountered, soil undercutting will be required in those areas as recommended by the geotechnical report.

Stabilization measures shall be initiated as soon as possible in portions of the site where construction activities have temporarily or permanently ceased. Temporary or permanent soil stabilization at the construction site (or a phase of the project) must be completed no later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. In the following situations, temporary stabilization measures are not required:

1. Where the initiation of stabilization measures is precluded by snow cover or frozen ground conditions or adverse soggy ground conditions, stabilization measures shall be initiated as soon as practicable; or
2. Where construction activity on a portion of the site is temporarily ceased, and earth disturbing activities will be resumed within 14 days. Steep slopes (greater than 35%) shall be temporarily stabilized not later than 7 days after construction activity on the slope has temporarily or permanently ceased.

Permanent stabilization with perennial vegetation (using native herbaceous and woody plants where practicable) or other permanently stable, non-eroding surface shall replace any temporary measures as soon as practicable. Unpacked gravel containing fines (silt and clay sized particles) or crusher runs will not be considered a non-eroding surface.

*b. Structural Practices.*

1. *Sediment Basin.* A sediment basin is required since the drainage area is more than 5 acres and located on an exceptional stream. The site in its entirety drains to the pond, which shall be placed and constructed in accordance with the Erosion Control Plans, see attached sheet.
2. *Rock Check Dams.* Rock check dams shall be placed and constructed in accordance with the Erosion Control Plans, see attached sheet.
3. *Construction Exits.* Construction exits should be placed and constructed in accordance with Erosion Control Plans. See attached sheet.
4. *Outlet Protection.* Outlet protection should be installed as shown on the attached Erosion Control Plans.

2. Storm Water Management

- a. Soil Stabilization will be accomplished by the use of seeding in the appropriate areas, as specified. Temporary seeding will be required in those areas that consist of disturbed soils that have remained dormant for periods of more than 14 days.

As a general rule, permanent seeding will be performed within 14 days after the final grade on an area has been established. If disturbed areas on-site are to remain dormant for periods greater than six months in duration, the contractor will apply permanent soil stabilization. An allowance in the time schedule will be made for snow cover during periods of construction downtime. Seeding will be performed by hydro-seeding, by hand, or by a mechanical broadcasting method

- b. The areas to be seeded will be uniform and will conform to the finished grade and cross Section shown in the plans for this project or as otherwise designated. Owner's representative will perform minor shaping of uneven and rough areas outside the graded section as directed in order to provide for more effective erosion control and for ease of subsequent earth moving operations.

- c. The seed bed (including cut slopes) will be loosened to a minimum depth of 3 inches before agricultural lime, fertilizer or seed is applied. The areas to be seeded will be cleared of stones larger than 2.5 inches in dimension, roots, and other debris.

### 3. Other Controls

- a. All contractors and subcontractor affiliated with the construction project shall abide by federal, state (Tennessee), and local (Davidson County) requirements for construction, waste disposal, sanitary sewer, and septic system regulations.
- b. Providing a construction exit as detailed on the Erosion Control Plan shall minimize off-site vehicle tracking of sediments. No access for construction ingress or egress shall be allowed except for the construction entrances shown on the Erosion Control Plan.
- c. *Temporary Parking and Storage.* The temporary parking and storage areas shall be located as determined by developer's construction manager. The temporary parking and storage area shall also be used as the equipment maintenance area, equipment cleaning area, employee break area and area for locating portable facilities, office trailers and toilet facilities.
- d. *Dust Control.* Dust control on the site shall be minimized by sprinkling water on dry area of the site. The use of motor oils and other petroleum based or toxic liquids for dust suppression operations are prohibited.
- e. *Construction Waste.* All construction waste and trash (paper, plastic, wood, scrap metals, rubber, etc.) shall be collected and stored in containers with lids or covers that can be placed over the container prior to rainfall. This waste shall be disposed of according to state and local solid waste management regulations.
- f. *Hazardous Waste.* All hazardous waste (paints, acids for cleaning masonry surfaces, cleaning solvents, concrete curing compounds and additives, etc.) shall be disposed of according to local, state and federal regulations.
- g. *Sanitary Waste.* Sanitary waste that is generated on the site shall be disposed of in accordance with local and state regulations.
- h. *Concrete Truck Waste.* Excess concrete and wash water shall be disposed of in a manner that prevents contact between these materials and storm water that is discharged from the site.
- i. *Vehicle and Equipment Cleaning.* Wash water generated from vehicle and equipment cleaning shall be disposed of in a manner that prevents contact between these materials and storm water that is discharged from the site.

## C. MAINTENANCE

1. All measures stated in this Storm Water Pollution Prevention Plan and on the Erosion Control Plans for the prevention of storm water pollution and erosion control shall be maintained in fully functional condition until the final stabilization of the site. All erosion and sedimentation control measures shall be cleaned and repaired in accordance with the following, see attached sheets for construction details.
  - a. All seeded areas shall be checked regularly to see that a good stand of grass is maintained. Areas should be reseeded and fertilized as needed to provide a good stand of grass for erosion control.
  - b. Silt fences shall be repaired to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-third to one-half the height of the silt fence.
  - c. Sediment shall be removed from the EPSC measures at 50% capacity.
  - d. The construction entrances shall be maintained in a condition, which will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing as conditions demand.
  - e. The temporary parking and storage area shall be kept in good condition, suitable for parking and storage. This may require periodic top dressing as conditions demand.

## D. MATERIAL MANAGEMENT

1. *Petroleum Products:* All on-site vehicles shall be monitored for leaks and receive regular preventative maintenance to reduce the chance of leakage. Petroleum products (oils, gasoline, lubricates, asphalt substances, etc.) shall be stored in tightly sealed containers which are clearly labeled. Any asphalt substances used on-site will be applied according to the manufacturer's recommendations.
2. *Paints:* All containers shall be tightly sealed and stored when not required for use. Excess paint shall not be discharged to the storm sewer system but will be properly disposed of according to manufacturer's instructions or state and local requirements.
3. *Fertilizers:* Fertilizers used shall be applied only in the minimum amounts recommended by the manufacturer. Once applied, fertilizer shall be worked into the soil (4 to 6 inches) to limit exposure to storm water. Fertilizers shall be stored in a covered area.
4. *Hazardous Products:* Products shall be kept in original containers unless they are not resealable. Original labels and material safety data shall be retained (the labels contain important product information). If surplus products must be disposed of, local, state and federal requirement shall be followed.



E. **SPILL CONTROL PRACTICES**

1. Materials shall be tightly sealed in containers that are clearly labeled and shall be neatly and securely stacked.
2. Materials and equipment necessary for spill cleanups shall be kept in the material storage area on-site.
3. All spills shall be cleaned up immediately after discovery.
4. The spill area shall be kept well ventilated and personnel shall wear appropriate protective clothing to prevent injury from contact with a hazardous substance.
5. Spills of toxic hazardous materials shall be reported to the appropriate local, state, and federal government agencies as soon as possible, regardless of the size.
6. Contaminated materials shall be disposed of according to local, state, and federal requirements.
7. One person shall be selected to be the spill prevention and cleanup coordinator.
8. The designated field supervisor will contact the appropriate authorities for notification of a spill related incident. The following list are the authorities as related to this project:

|  |                              |
|--|------------------------------|
| Berry Hill Investors<br>(c/o Land Solutions Company)     | (615) 969-9202               |
| Tennessee Department of<br>Environment and Conservation  | (615) 532-0625               |
| National Response Center                                 | 800-424-8802                 |
| Tennessee Emergency Management Agency<br>Non-emergencies | 800-262-3300<br>800-262-3400 |

Spill of toxic, hazardous, or petroleum-based materials shall be reported immediately to the DPC&E and the local Fire Department.

Berry Hill Investors will maintain a map outlining the route to the hospital in case of a spill related injury. This map will be posted at each on-site office trailer. A first aid kit will also be maintained at the office trailer located on the project site. Mid Tennessee Development, LLC will be responsible for ensuring that the kit is complete at all times.

Berry Hill Investors shall follow the reporting guidelines stated in the state guidelines, if the spill consists of a hazardous or oily substance. Reporting will be in accordance to the provisions stated under 40 CFR Parts 110, 117 and 302.

## F. GOOD HOUSEKEEPING

1. The following good housekeeping practices shall be followed on-site during the construction project.
  - a. Neat and orderly storage of any chemicals, fertilizers, fuels, etc., that are being stored on the site.
  - b. Regular garbage, rubbish, construction waste and sanitary waste disposal.
  - c. Prompt cleanup of any spills that have occurred.
  - d. Cleanup of sediment that has been deposited off of the site by vehicle tracking, wind, and storm water.

## G. INSPECTIONS

1. Qualified personnel (provided by the contractor) shall inspect all erosion, sedimentation and storm water pollution devices stated in this Storm Water Pollution Prevention Plan and on the Erosion Control Plans at least twice every seven calendar days, at least 72 hours apart. Disturbed areas and areas used for material storage that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the drainage systems. Erosion and sediment control measures identified in the Storm Water Pollution Prevention Plan and the Erosion Control Plans shall be observed to ensure that they are operating correctly. Discharge locations shall be inspected to ascertain whether the erosion and sedimentation control measures are effective in preventing significant impacts to receiving waters. Based on the results of the inspections, the erosion and sedimentation control measures shall be revised or modified as appropriate, but in no case shall it take more than seven calendar days following the inspection to revise or modify the erosion and sediment control measures. Following inspection, all vegetation, EPSCs, and other protective measures to be repaired, replaced, or modified within 7 days.

## H. NON-STORM WATER DISCHARGES

1. Anticipated non-storm water discharges on the construction site may include the following:
  - a. *Waterline flushing from the newly installed waterlines.* Silt fences shall be used to collect sediment from water that is flushed from new waterlines.
  - b. *Discharge from fire fighting activities.* Any materials from fire fighting activities that may pollute the storm water shall be disposed of in a proper manner.
  - c. *Water Discharge from dust control.* Silt fences shall be used to collect sediment from discharge waters associated with dust control



**I. APPROVED STATE OR LOCAL PLANS**

1. To the best knowledge of all parties involved with implementation of this Storm Water Pollution Prevention Plan, all measures and consideration specified in this plan meet the requirements of the Tennessee Department of Environment & Conservation NPDES permit TNR10-0000 and Davidson County.

This plan was prepared in accordance with the Tennessee Dept. of Environment & Conservation NPDES Permit No. TNR10-0000 and the EPA Storm Water Management for Construction Activities.

**J. SIGNATURE REQUIREMENTS**

1. All reports and certifications shall be signed in accordance with part IV.B of the NPDES Permit TNR10-0000.

**K. Tennessee Dept. of Env. & Conservation NPDES STORM WATER PERMIT TNR10-0000**

1. The Tennessee Dept. of Environment & Conservation NPDES Storm Water Permit TNR10-0000, Appendix F, is considered part of this Storm Water Pollution Prevention Plan and shall be used as a reference and a guide to ensure that all requirements, conditions, limitations and responsibilities are met.

**L. CONTRACTOR ASSIGNMENT**

1. This plan will be modified to include the assignment of contractors and subcontractors to specific measures that are outlined herein.
2. All contractors and subcontractors will be required to sign a copy of the following certification statement before conducting any professional service at the site identified in this plan:

“I certify under penalty of law that I understand the terms and conditions of the general National Pollution Discharge Elimination System (NPDES) permit that authorizes the storm water discharges associated with industrial activity from the construction site as part of this certification.”

The preceding contractor / subcontractor certification must include the name and title of the person providing the signature; the name; address and telephone numbers of the contracting firm; the address; (or other identifying description) of the site; and the date the certification is made. Any signature affixed to this plan, or related documents, must be accompanied by the proper certification. The preceding contractor / subcontractor certification is part of permit number TNR10-0000, and is included as a part of this Storm Water Pollution Prevention Plan to serve as record only.

## M. SIGNATORY REQUIREMENTS

The Signatory Requirements for all documents related to the permit number TNR10-0000 are as follows:

All Notices of Intent, Storm Water Pollution Prevention Plans, certifications or information either submitted to the Tennessee Dept. of Environment & Conservation or the operator of a large or medium municipal separate storm sewer system, or that this permit requires to be maintained by the permittee, shall be signed in accordance with the following:

*Identity of signatories of operation permits applications.* The person who signs the application for an operation permit shall be:

1. *Corporations.* In the case of a corporation, a responsible corporate officer, which is one of the following:
  - a. A president, secretary, treasurer, or vice-president of the corporation in charge of a principal business function, or any other person who performs similar policy or decision-making functions for the corporation; or
  - b. The manager of one or more manufacturing, production, or operating facilities employing more than 250 persons or having gross annual sales or expenditures exceeding \$25 million (in second quarter 1980 dollars), if authority to sign documents has been assigned or delegated to the management in accordance with corporate procedures.
2. *Partnerships.* In the case of a sole partnership, a general partner.
3. *Sole proprietorships.* In the case of a sole proprietorship, the proprietor.
4. *Public Facilities.* In the case of a municipal, state, or other public facility, by either the principal executive officer, or the ranking elected official. A principal executive officer of a Federal Agency includes:
  - a. The chief executive officer of the agency; or
  - b. A senior executive officer having responsibility for the overall operations of a principal geographic unit of the agency.
5. *Storm water discharge associated with industrial activity from construction activity.* In the case of a storm water discharge associated with industrial activity from construction, either the owner of the site or general contractor.

The person who signs the NPDES reports shall be the same, except that in the case of a corporation, or a public body, monitoring reports required under the terms of the permit may be submitted by the person who is responsible for the overall operation of the facility from which the discharge originated. The preceding signatory requirements are a part of permit number TNR10-000, and are included as part of this Storm Water Pollution Prevention Plan to serve as record only.

## N. AUTHORIZATION

All reports required by the permit and other information requested by the Director of the Tennessee Dept. of Environment & Conservation shall be signed by a person described above or by a duly authorized representative of that person. A person is a duly authorized representative only if:

1. The authorization is made in writing by a person described above and submitted to the Director;
2. The authorization specifies either an individual or a person having responsibility for the overall operation on the regulated facility or activity, such as the position of plant manager, operator of a well or well field, superintendent, or position or equivalent responsibility, or position or equivalent responsibility for environmental matters for the company. (A duly authorized representative may thus be either a named individual or any individual occupying a named position); and
3. Changes to Authorization. If an authorization under this part is no longer accurate because a different individual or position has responsibility for the overall operation of the facility, a new authorization satisfying the above requirement must be submitted to the Director prior to or together with any reports, information, or applications to be signed by an authorized representative.

The preceding authorization requirements are a part of permit number TNR10-0000, and are included as a part of this Storm Water Pollution Prevention Plan to serve as a record only.

## O. SIGNATURE CERTIFICATION

1. *Certification.* Any person signing documents shall make the following certification:

“I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the systems, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for violations.”

The preceding signature certification is a part of permit number TNR10-0000, and is included as part of this Storm Water Pollution Prevention Plan to serve as record only. Any signature affixed to this plan or related documents must be accompanied by the proper certification.

## P. NOTICE OF TERMINATION

1. After final stabilization at the construction site, the contractor shall submit a Notice of Termination to the Department. This notice shall include the name of the owner that was issued the permit, and the general permit number. This notice shall also be accompanied by the following certification:

“I certify under penalty of law that disturbed soils at the identified facility have been finally stabilized and temporary erosion and sediment control measures have been removed or will be removed at an appropriate time, or that all storm water discharges associated with construction activities from the identified site that are authorized by a NPDES general permit have otherwise been eliminated. I understand that by submitting this Notice of Termination, that I am no longer authorized to discharge storm water associated with industrial activity by the general permit, and that discharging pollutants from storm water associated with industrial activity to waters of the State is unlawful under the Clean Water Act where the discharge is not authorized by a NPDES permit.”

The preceding Notice of Termination certification is a part of permit number TNR10-0000 and is included as a part of this Storm Water Pollution Prevention Plan to serve as record only. Any signature affixed to this plan or related documents must be accompanied by the proper certification.

#### **Q. SITE ASSESSMENT**

A Site Assessment shall be performed to verify the installation, functionality, and performance of the EPSC measures as described. The site assessment shall be performed with the inspector and include a review of the SWPPP. If necessary, the SWPPP shall be revised or updated. All assessment shall be documented and kept with the SWPPP at the site. The Twice Weekly Inspection Report form information shall be included in the documentation with the site assessment. The documentation shall contain the printed name and signature of the person performing the site assessment as well as the following certification:

“I certify under penalty of law that this report and all attachments are, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.”

The site assessment must be performed by a licensed professional engineer or landscape architect, a Certified Professional in Erosion and Sediment Control(CPESC), or a person that successfully completed the “Level II Design Principles for Erosion Prevention and Sediment Control for Construction Sites” course.

Appendix A

31-Realty, LLC

STORM WATER POLLUTION PREVENTION PLAN

REPRESENTATIVE OF OWNER/DEVELOPER

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

  
Sign

DA Rippey  
Print

9/12/17  
Date

CONTRACTOR'S CERTIFICATION

I certify under penalty of law that I have reviewed this document, any attachments, and the SWPPP referenced above. Based on my inquiry of the construction site owner/developer identified above, and/or my inquiry of the person directly responsible for assembling the Notice of Intent, I believe the information submitted is accurate. I am aware that this NOI, if approved, makes the above described construction activity subject to NPDES permit number TNR100000, and that certain of my activities on-site are thereby regulated. I am aware that there are significant penalties, including the possibility of fine and imprisonment for knowing violations, and for failure to comply with these permit requirements.

  
Sign

DA Rippey  
Print

9/12/17  
Date

Unless specified otherwise the DEVELOPER / CONTRACTOR is responsible for:

1. Temporary and permanent stabilization.
2. Stabilized construction entrance, fences, dikes, and silt collection areas.

# BUILDING 3 FOR 31W INSULATION FACILITY

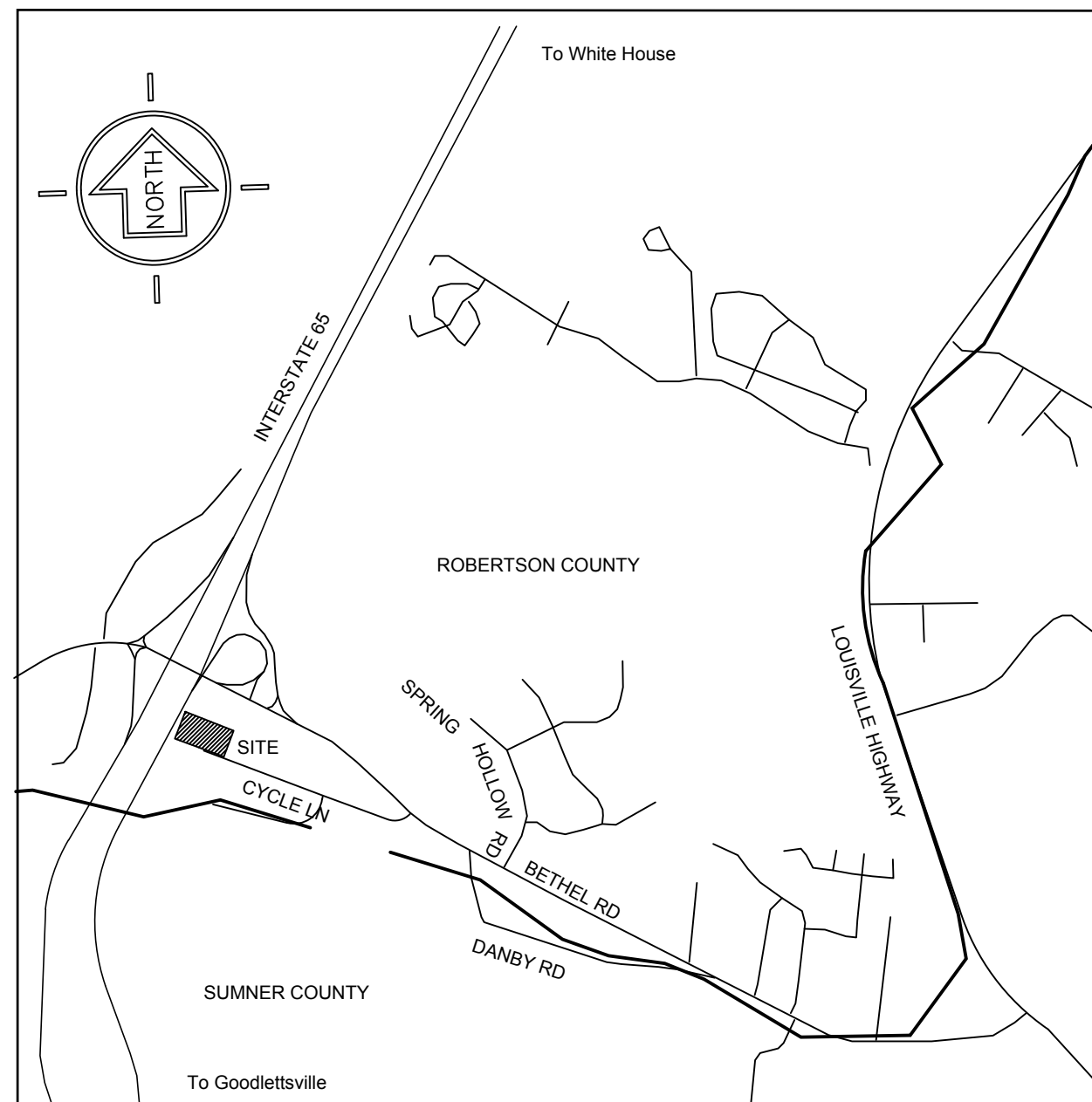
## SITE PLAN

BEING PARCEL 223 ON TAX MAP 125  
 7434 CYCLE LANE  
 MILLERSVILLE, ROBERTSON COUNTY, TENNESSEE

**SHEET SCHEDULE:**

|      |                                |
|------|--------------------------------|
| C0.0 | COVER SHEET                    |
| C1.0 | EXISTING CONDITIONS PLAN       |
| C1.1 | DEMOLITION & INITIAL EPSC PLAN |
| C2.0 | SITE LAYOUT PLAN               |
| C3.0 | GRADING & DRAINAGE PLAN        |
| C3.1 | FINAL EROSION CONTROL PLAN     |
| C5.0 | SITE DETAILS                   |
| C5.1 | SITE DETAILS                   |

VICINITY MAP

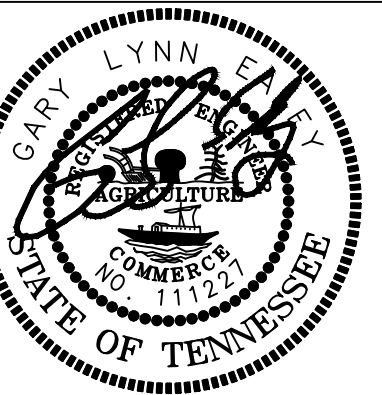


**OWNER**

31-W REALTY, LLC.  
 ATTN: ANDY RIPPY  
 7434 CYCLE LANE  
 GOODLETTSVILLE, TN 37072

**ENGINEER**

LAND SOLUTIONS COMPANY, LLC  
 2925 BERRY HILL DR, 2ND FLOOR  
 NASHVILLE, TN 37204  
 ATTN: LYNN EALEY  
 615-969-9202



9/11/2017



BUILDING 3 FOR 31W INSULATION FACILITY

SITE PLAN

BEING PARCEL 223 ON TAX MAP 125  
 7434 CYCLE LANE  
 MILLERSVILLE, ROBERTSON COUNTY, TENNESSEE

**ISSUANCE/REVISION NOTES:**

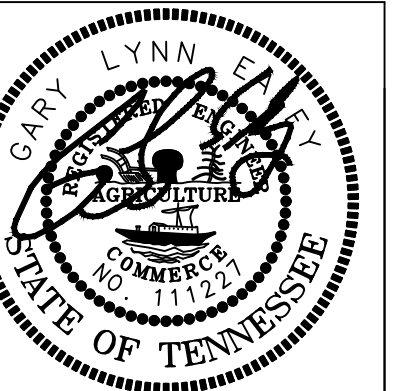
- PLAN DATE: JULY 28, 2017

- A NONE
- B NONE
- C NONE
- D NONE

COVER SHEET

C0.0





9/11/2017



# BUILDING 3 FOR 31W INSULATION FACILITY

## SITE PLAN

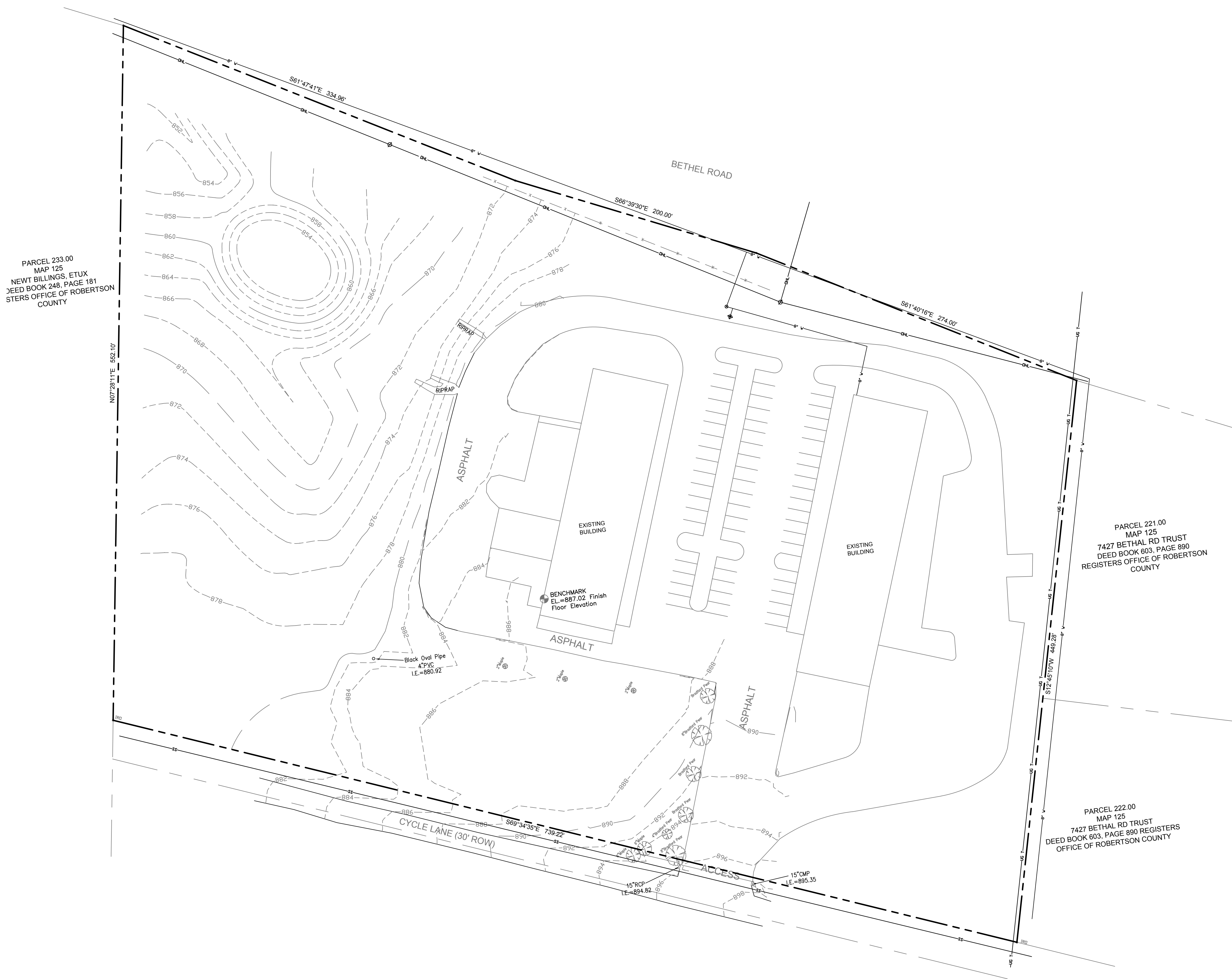
BEING PARCEL 223 ON TAX MAP 125  
7434 CYCLE LANE  
MILLERSVILLE, ROBERTSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:  
- PLAN DATE: JULY 28, 2017

- NONE
- NONE
- NONE
- NONE

EXISTING  
CONDITIONS  
PLAN  
**C1.0**

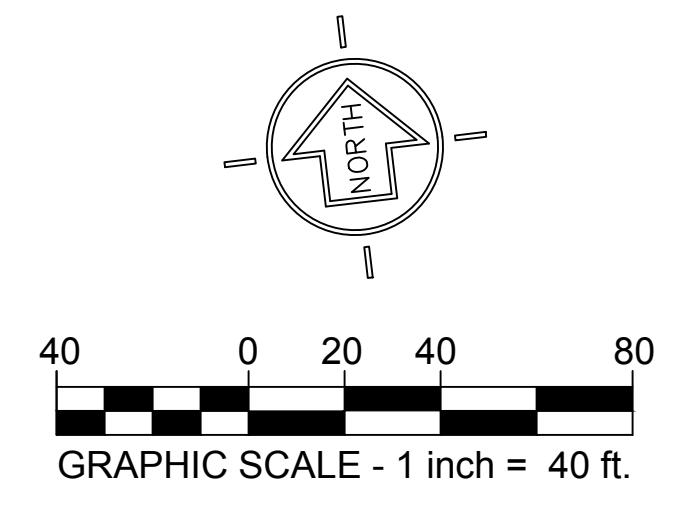
LBC 8066



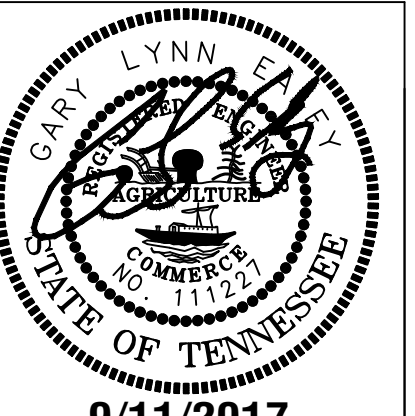
PARCEL 233.00  
MAP 125  
NEWT BILLINGS, ETUX  
DEED BOOK 248, PAGE 181  
STERS OFFICE OF ROBERTSON  
COUNTY

PARCEL 221.00  
MAP 125  
7427 BETHAL RD TRUST  
DEED BOOK 603, PAGE 890  
REGISTERS OFFICE OF ROBERTSON  
COUNTY

PARCEL 222.00  
MAP 125  
7427 BETHAL RD TRUST  
DEED BOOK 603, PAGE 890 REGISTERS  
OFFICE OF ROBERTSON COUNTY







9/11/2017



**BUILDING 3 FOR 31W INSULATION FACILITY**

**SITE PLAN**

BEING PARCEL 223 ON TAX MAP 125  
7434 CYCLE LANE  
MILLERSVILLE, ROBERTSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:  
- PLAN DATE: JULY 28, 2017

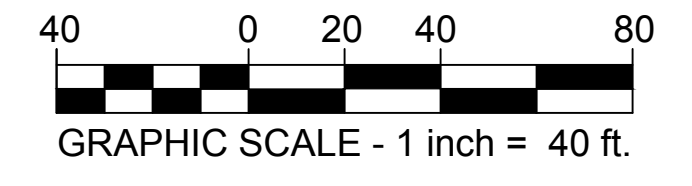
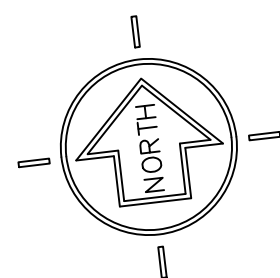
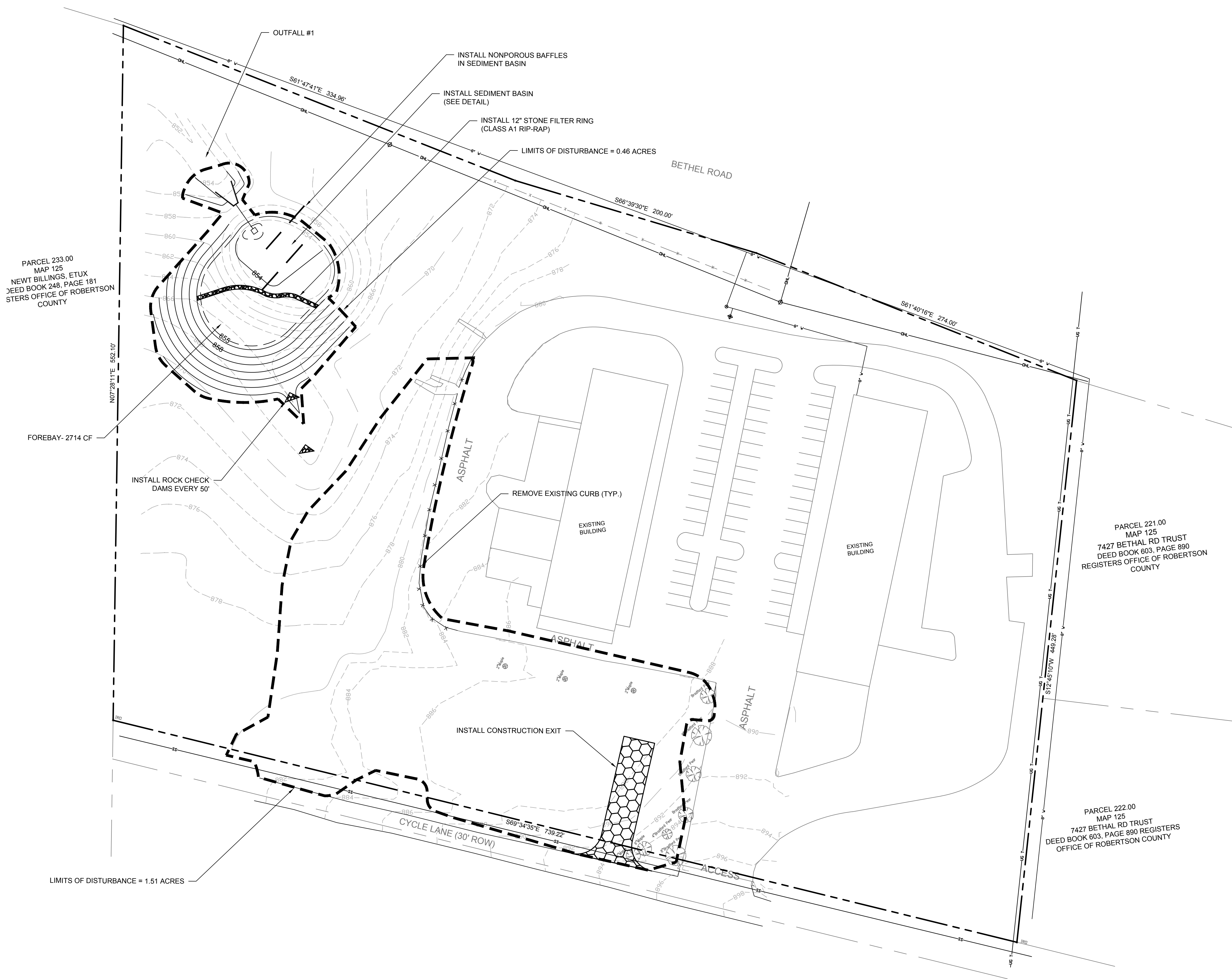
- NONE
- NONE
- NONE
- NONE

**DEMOLITION AND INITIAL EROSION CONTROL PLAN**

**C1.1**

**EROSION AND SEDIMENT CONTROL NOTES:**

1. ALL SEDIMENT AND EROSION CONTROL MEASURES, SUCH AS SILT FENCE OR INLET SEDIMENT BARRIERS SHALL CONFORM TO THE STORM WATER PERMITTING REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION AND THE "TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK" AS A MINIMUM.
2. EROSION CONTROL TO BE INSPECTED AND APPROVED PRIOR TO ALL OTHER WORK BEING STARTED.
3. THE TIME OF EXPOSURE UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 14 DAYS. REFER TO THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION; SECTION TS FOR AREAS TO BE STABILIZED THAT DO NOT REQUIRE PERMANENT STABILIZATION SUCH AS BUILDING FOOTPRINTS, PARKING LOTS, ETC.
4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE REFER TO THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, SECTION PAM.
5. NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERLY IN PLACE.
6. IF, AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SEDIMENT CONTROL MEASURED INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTION AS ARE NEEDED TO CORRECT THE SITUATION AT NOT ADDITIONAL COST TO THE OWNER. ALL MEASURES ARE TO BE INITIATED AFTER EACH RAIN EVENT. ANY MEASURES NEEDING REPLACEMENT WILL BE CORRECTED WITHIN 5 DAYS OF THE RAIN EVENT.
7. DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON GRADING PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION. ALL STRIPPED OR CUT/FILL AREAS REQUIRING PERMANENT VEGETATION ARE TO HAVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE 12 POUNDS PER 1,000 SQUARE FEET OF 6-12-12 FERTILIZER, REFER TO SECTION PS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION TO DETERMINE SEED TYPE AND SEEDING DATES ALONG WITH SEEDBED PREPARATION AND PLANT SELECTION AND STRAW MULCH OF 75% COVERAGE (APPROXIMATELY 125 POUNDS PER 1,000 SQUARE FEET) EXCEPT AS OTHERWISE SHOWN ON PLAN. AREAS SHALL BE WATERED TO NOT CAUSE RUNOFF.
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16. STEEP SLOPES TO BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
17. ALL PERIMETER EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO GRADING.
18. CONTRACTOR TO BE RESPONSIBLE FOR IMPLEMENTATION OF ALL EPSC MEASURES.



Know what's below.  
Call before you dig.

UBC 9006



9/11/2017



**SITE DATA**

ADDRESS: 7434 CYCLE LANE  
MILLERSVILLE, TN 37072

OWNER: 31W REALTY  
ATTN: ANDY RIPPY  
7434 CYCLE LANE  
GOODLETTSVILLE, TN 37072

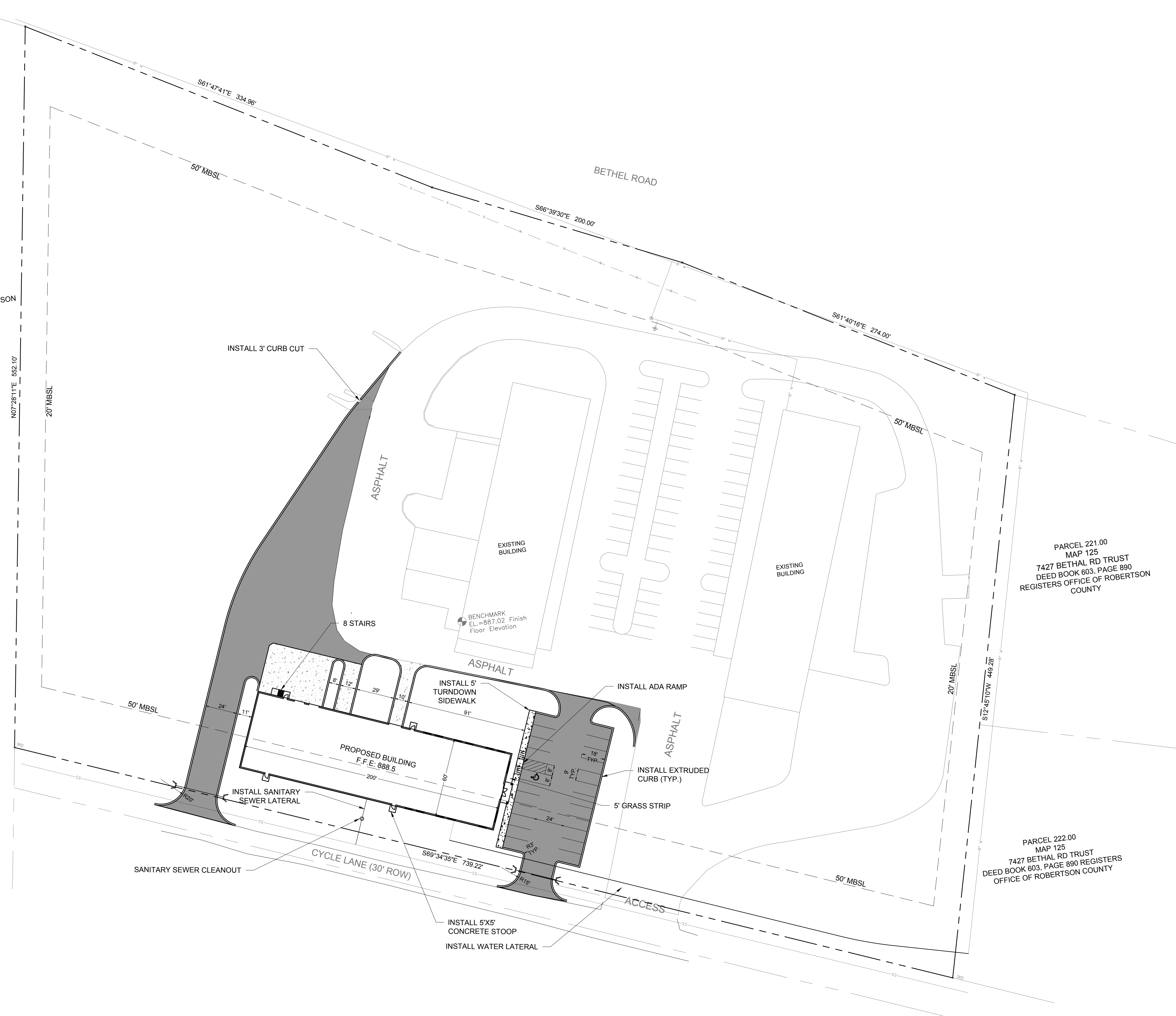
ENGINEER: LAND SOLUTIONS COMPANY, LLC.  
LYNN EALEY  
2925 BERRY HILL DRIVE  
NASHVILLE, TN 37204

EXISTING PARKING: 77 SPACES  
PROPOSED PARKING: 23 SPACES  
TOTAL SPACES PROVIDED: 100 SPACES  
ADA SPACES REQUIRED: 4 SPACES  
ADA SPACES PROVIDED: 5 SPACES

**PAVEMENT LEGEND**

- CONCRETE PAVEMENT
- HEAVY-DUTY ASPHALT

PARCEL 233.00  
MAP 125  
NEWT BILLINGS, ETUX  
DEED BOOK 248, PAGE 181  
REGISTERS OFFICE OF ROBERTSON  
COUNTY



PARCEL 221.00  
MAP 125  
7427 BETHAL RD TRUST  
DEED BOOK 603, PAGE 890  
REGISTERS OFFICE OF ROBERTSON  
COUNTY

PARCEL 222.00  
MAP 125  
7427 BETHAL RD TRUST  
DEED BOOK 603, PAGE 890  
REGISTERS OFFICE OF ROBERTSON  
COUNTY

**BUILDING 3 FOR 31W INSULATION FACILITY**

**SITE PLAN**

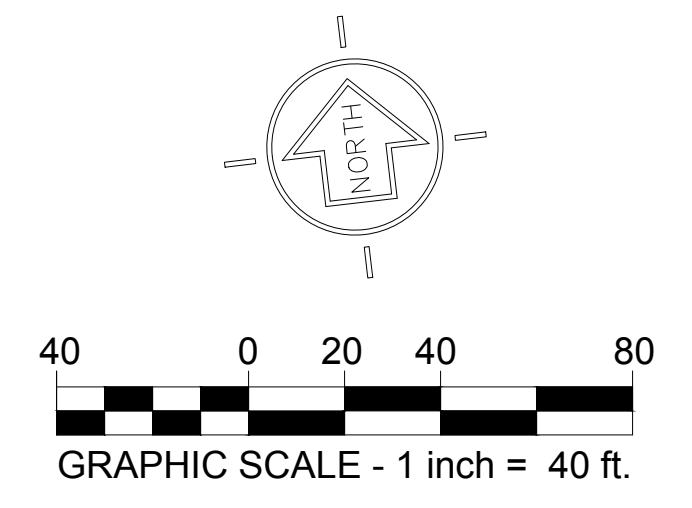
BEING PARCEL 233 ON TAX MAP 125  
7434 CYCLE LANE  
MILLERSVILLE, ROBERTSON COUNTY, TENNESSEE

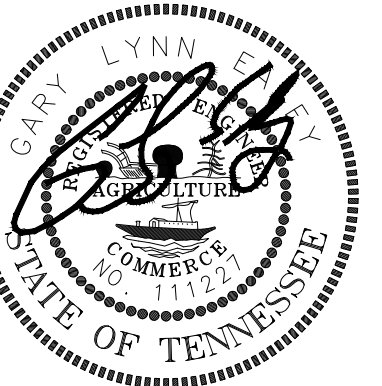
**ISSUANCE/REVISION NOTES:**

- PLAN DATE: JULY 28, 2017
- A NONE
- B NONE
- C NONE
- D NONE

**SITE LAYOUT PLAN**

**C2.0**





9/11/2017



# BUILDING 3 FOR 31W INSULATION FACILITY

## SITE PLAN

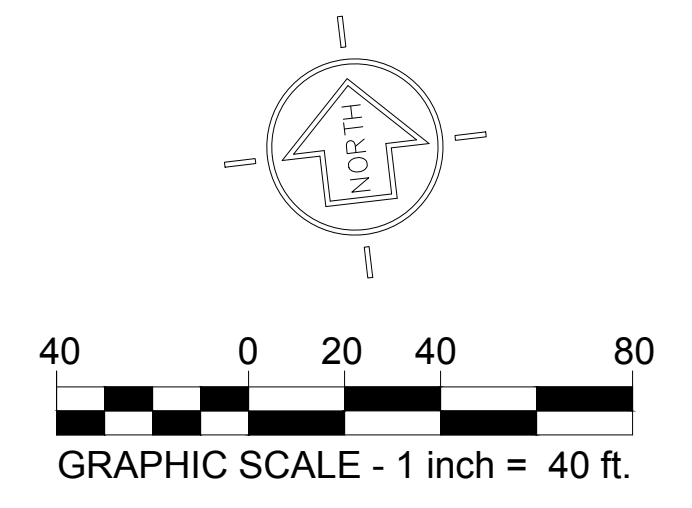
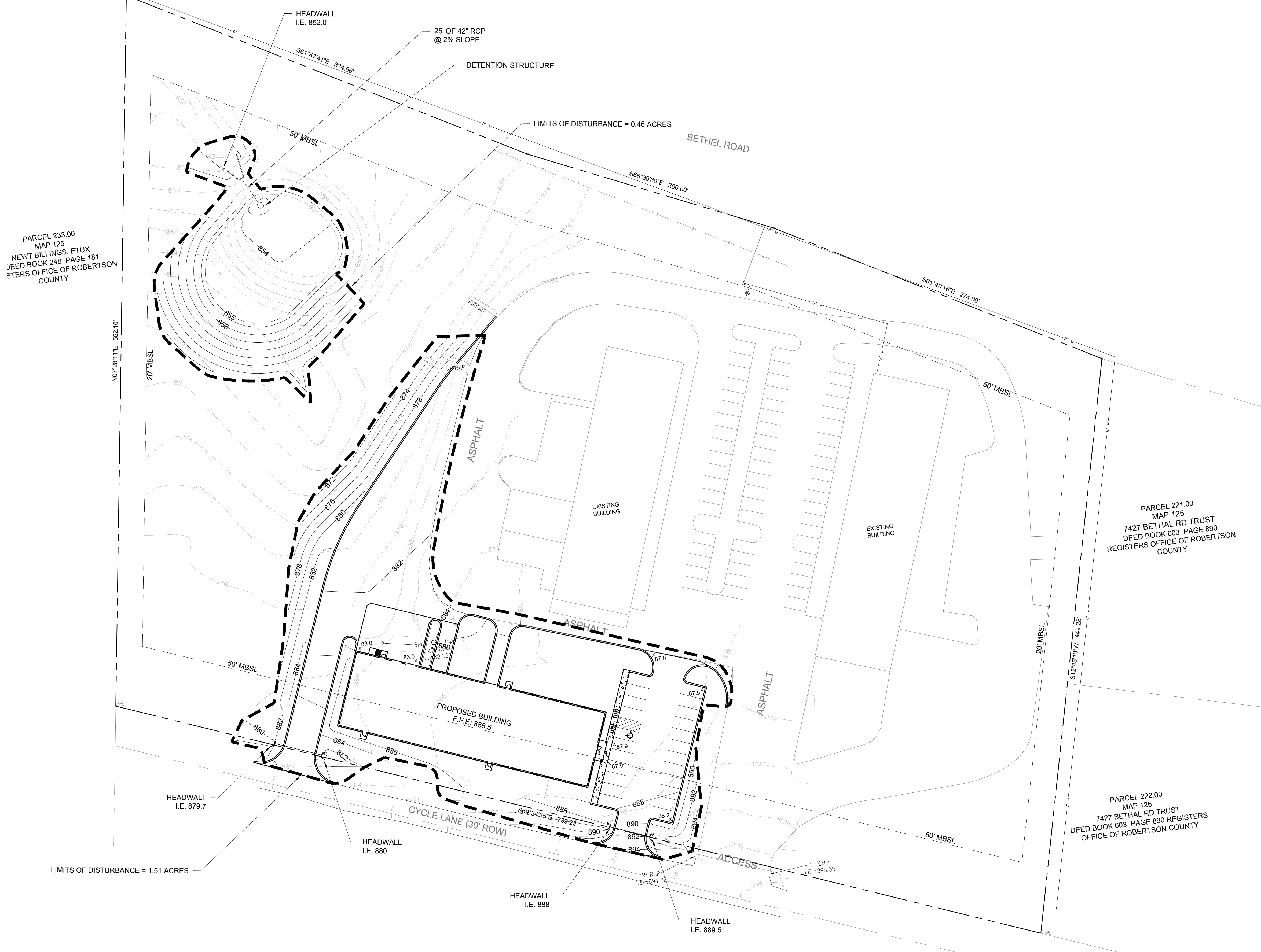
BEING PARCEL 223 ON TAX MAP 125  
7434 CYCLE LANE  
MILLERSVILLE, ROBERTSON COUNTY, TENNESSEE

### ISSUANCE/REVISION NOTES:

- PLAN DATE: JULY 28, 2017

- NONE
- NONE
- NONE
- NONE

### SITE GRADING & DRAINAGE PLAN C3.0







9/11/2017



BUILDING 3 FOR 31W INSULATION FACILITY

SITE PLAN

BEING PARCEL 223 ON TAX MAP 125  
7434 CYCLE LANE  
MILLERSVILLE, ROBERTSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:  
- PLAN DATE: JULY 28, 2017

- NONE
- NONE
- NONE
- NONE

FINAL EROSION CONTROL PLAN

C3.1

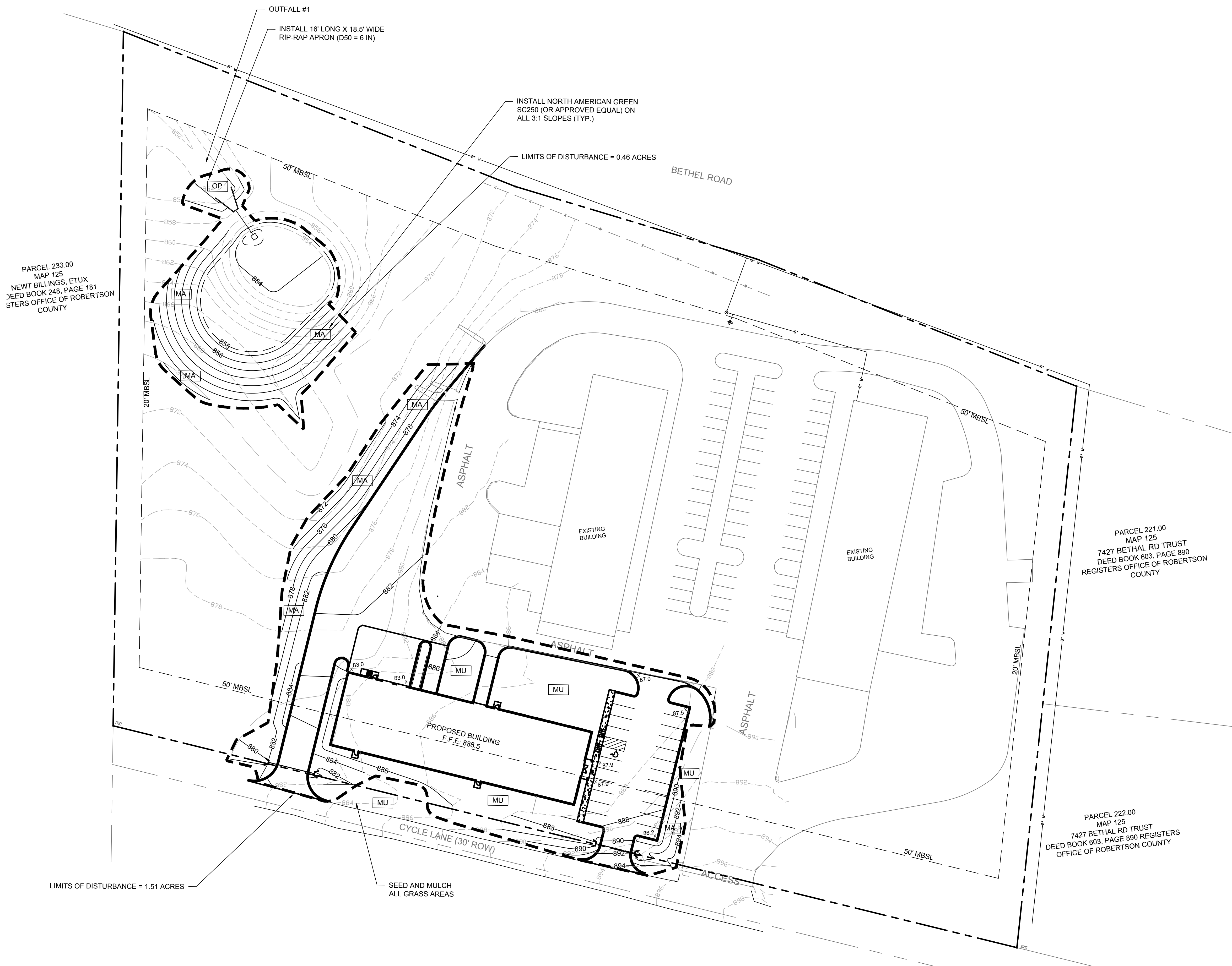
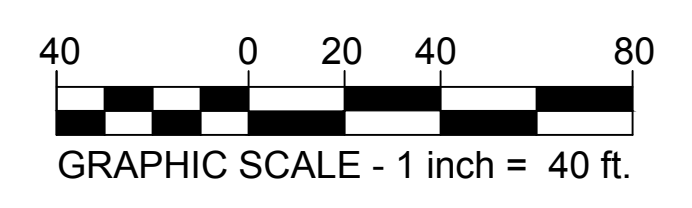
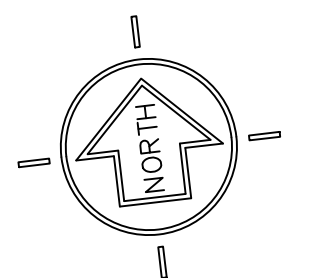
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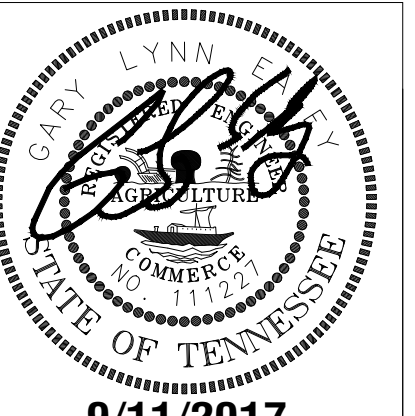
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19. DIVERSION SWALE LOCATION CO BE ADJUSTED AS NEEDED DURING FILL OPERATIONS TO ENSURE THAT RUNOFF FROM DISTURBED AREAS ARE DIVERTED TO THE SEDIMENT BASIN.

EPSC LEGEND

- OUTLET PROTECTION
- STABILIZATION MATTING
- SEED AND MULCH





9/11/2017

**LAND SOLUTIONS**  
2925 Berry Hill Drive, Nashville, TN 37204

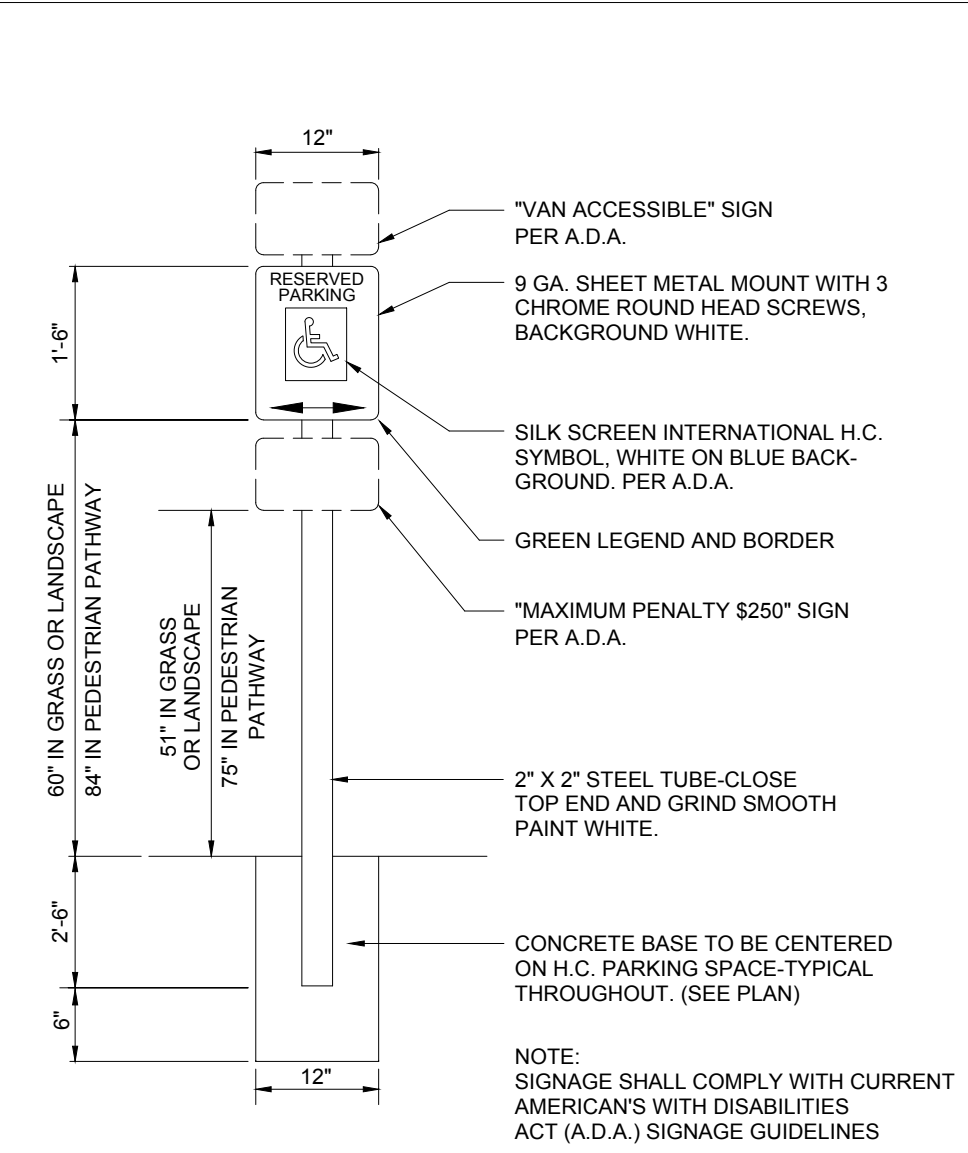
**BUILDING 3 FOR 31W INSULATION FACILITY**  
SITE PLAN  
BEING PARCEL 233 ON TAX MAP 125  
7434 CYCLE LANE  
MILLERSVILLE, ROBERTSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:  
- PLAN DATE: JULY 28, 2017

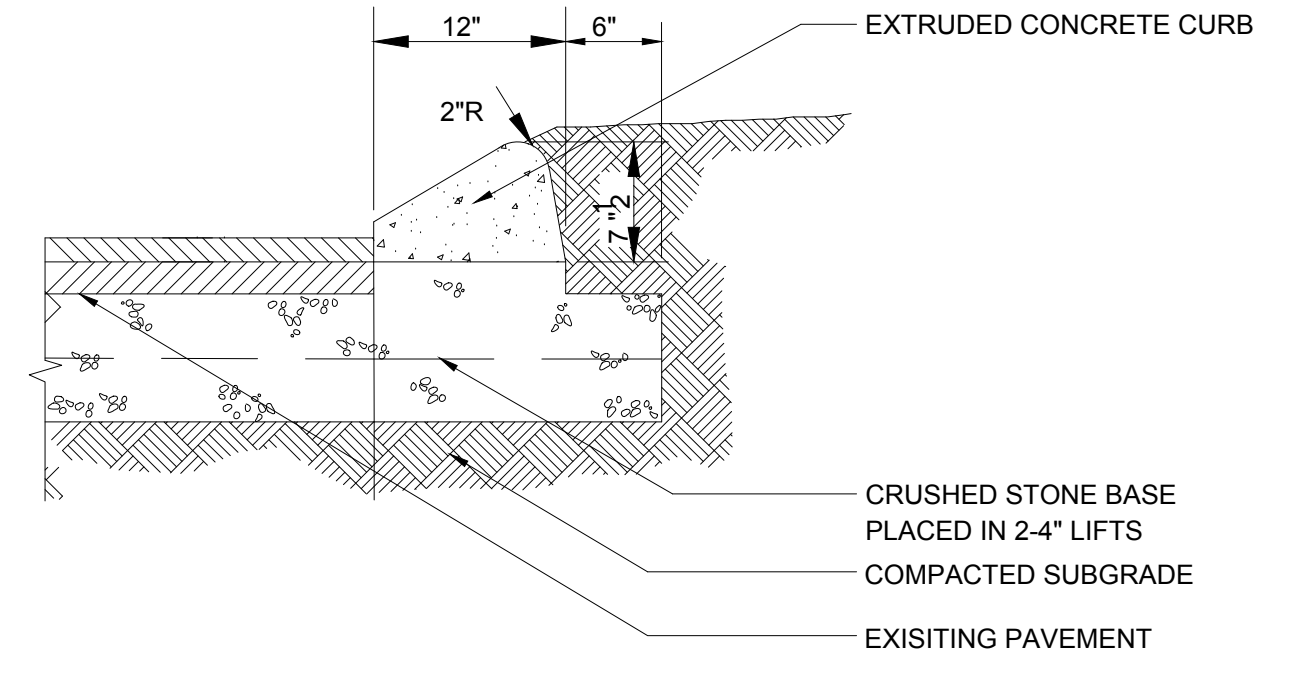
- A NONE
- B NONE
- C NONE
- D NONE

SITE DETAILS  
**C5.0**

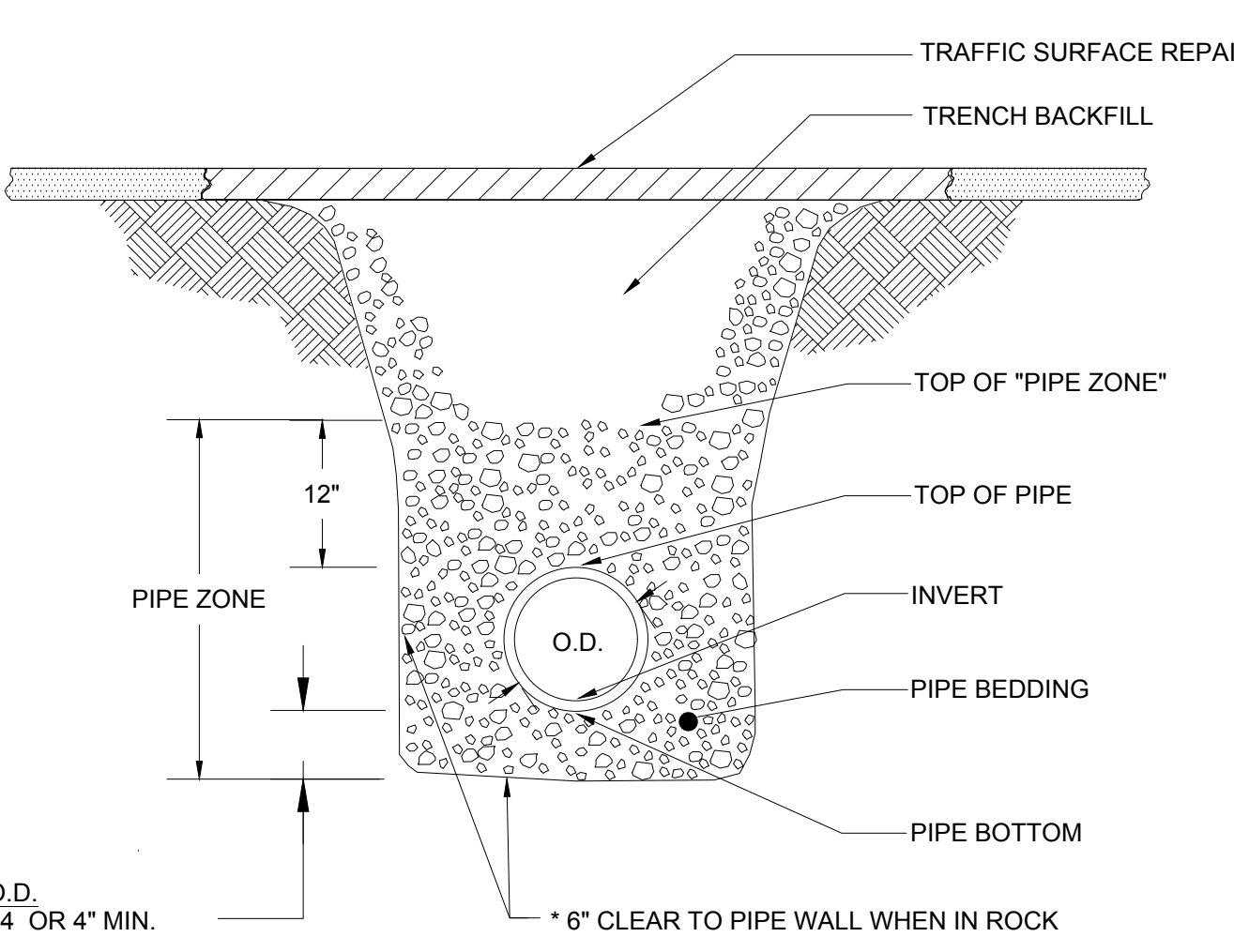
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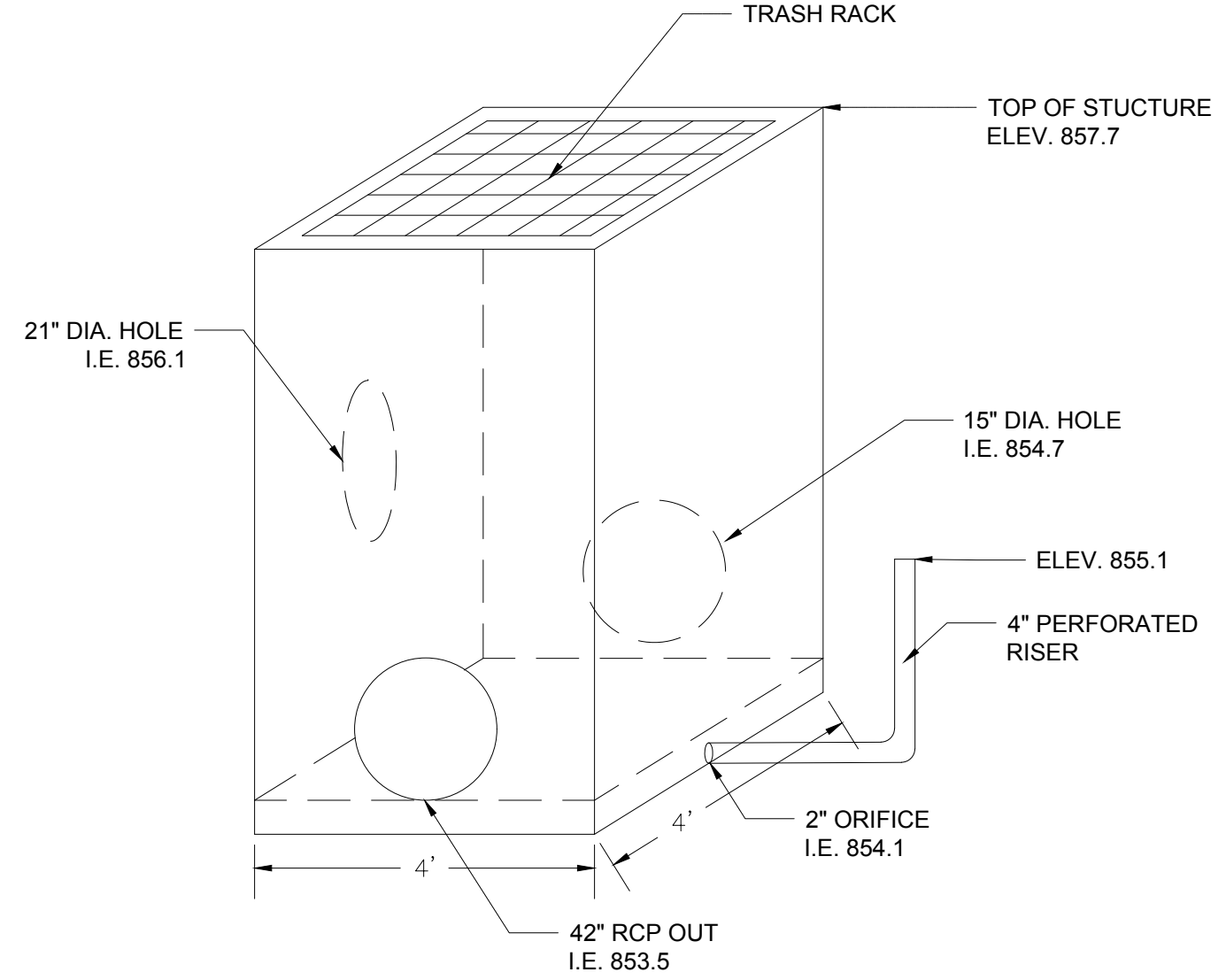
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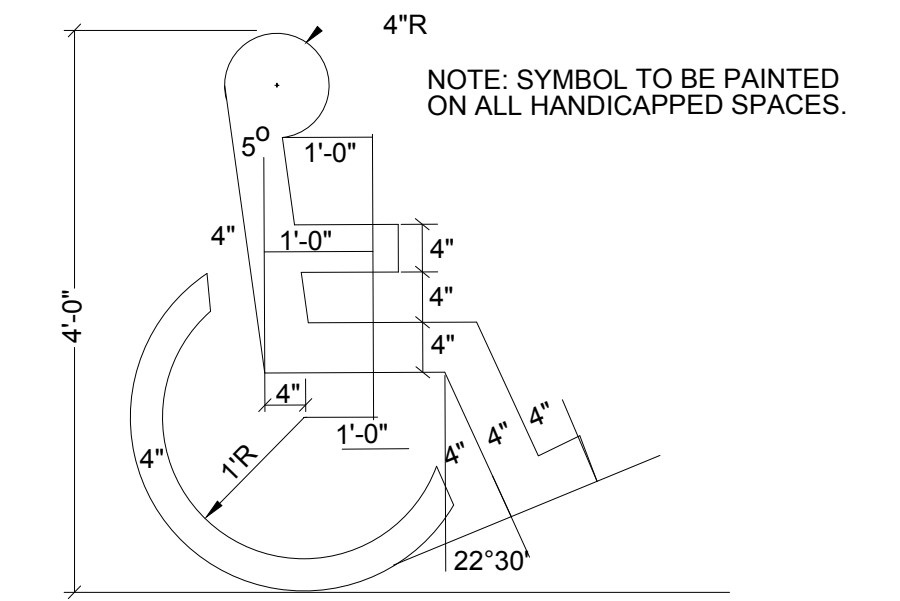
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**WATER LINE INSTALLATION**  
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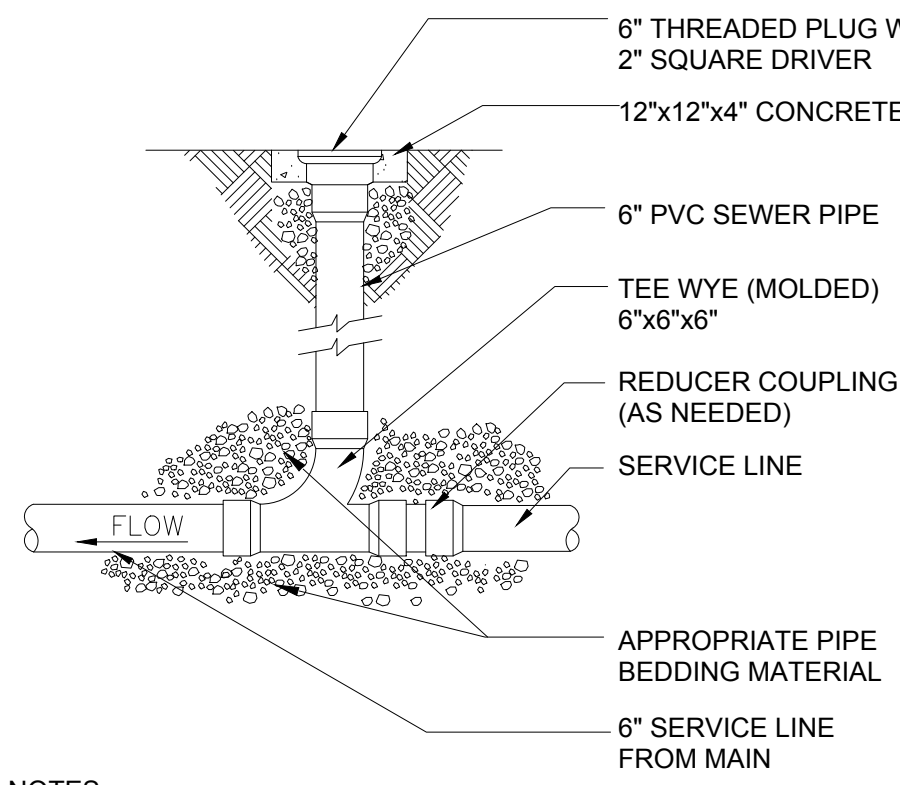


**DETENTION STRUCTURE**  
NOT TO SCALE



THE CONTRACTOR SHALL ASSURE TO METRO THAT ALL SERVICES PROVIDED THROUGH THIS CONTRACT SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT ("ADA") AND ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD, FEDERAL REGISTER 36 CFR PARTS 1190 AND 1191, ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES; ARCHITECTURAL BARRIERS ACT (ABA) ACCESSIBILITY GUIDELINES; PROPOSED RULE, PUBLISHED IN THE FEDERAL REGISTER ON JULY 23, 2004, AS HAS BEEN ADOPTED BY METRO.

**ADA STRIPING**  
NOT TO SCALE



NOTES:  
1. ALL FITTINGS AND LINES TO BE PVC. SOLVENT WELD (SDR-33).  
2. WHEN SERVICE LINE FROM MAIN LINE IS 4", ALL FITTINGS AND LINES TO BE 4".

**SANITARY SEWER CLEANOUT**  
NOT TO SCALE

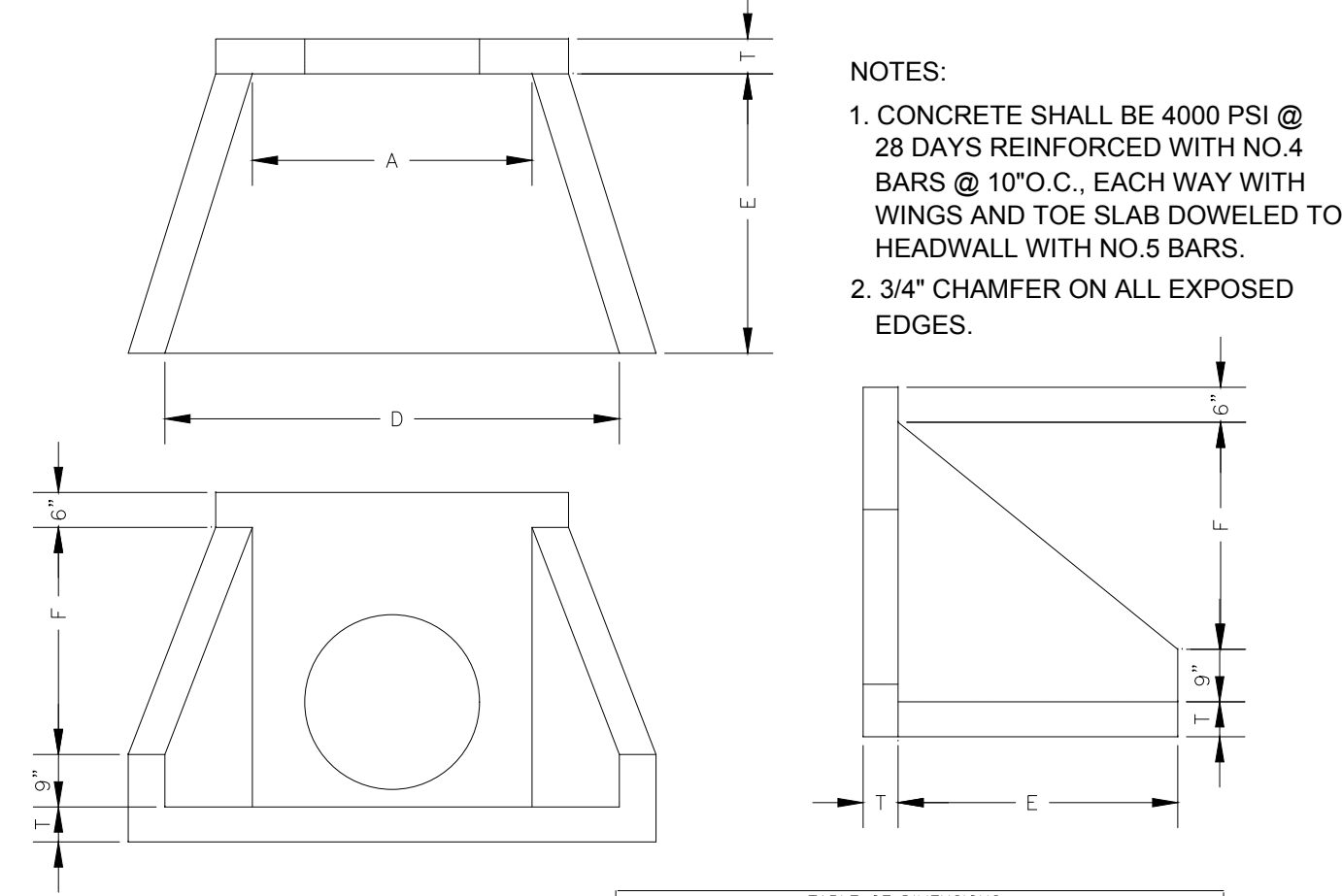
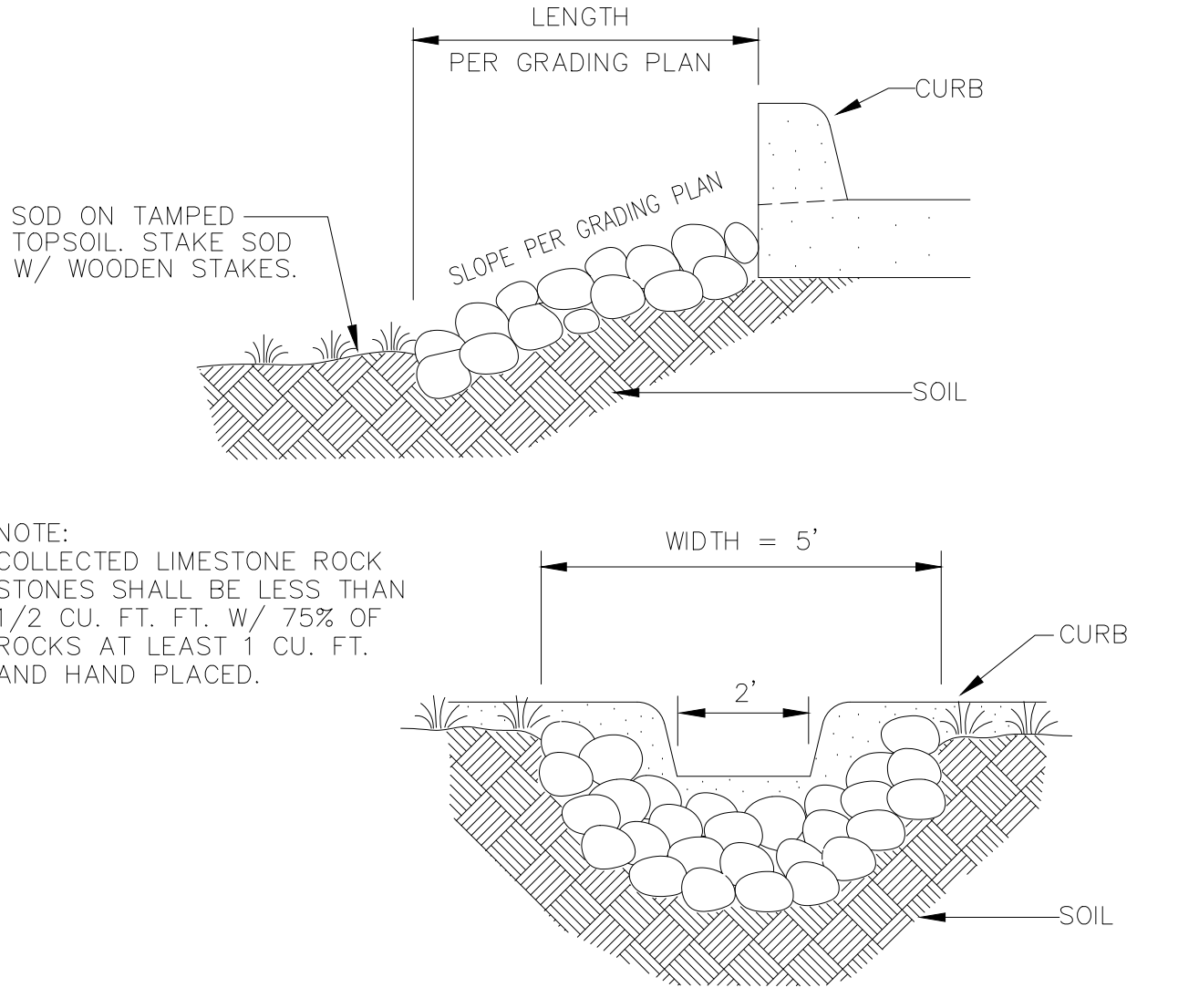


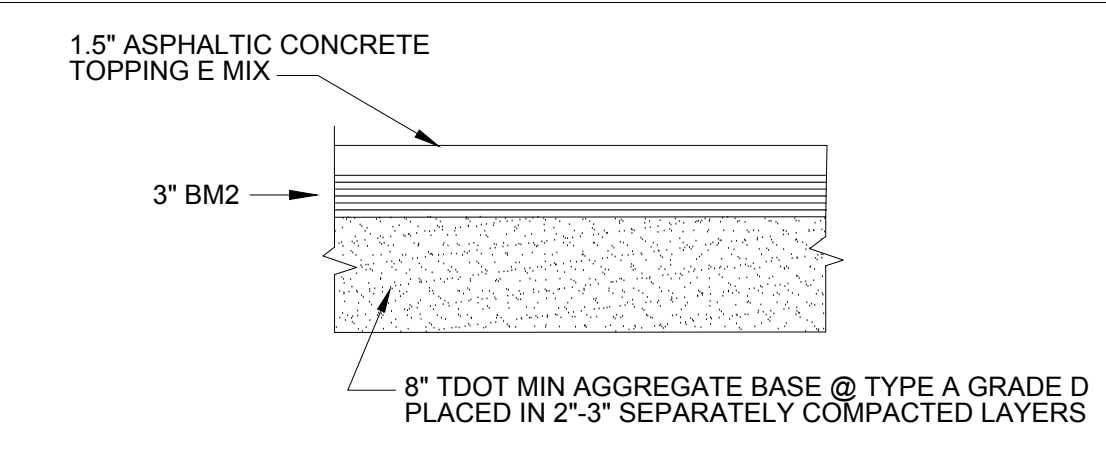
TABLE OF DIMENSIONS

| SIZE | A     | D     | E     | F     | T(MIN) |
|------|-------|-------|-------|-------|--------|
| 15"  | 2'-6" | 5'-0" | 2'-6" | 1'-9" | 6"     |
| 18"  | 2'-6" | 5'-0" | 2'-6" | 1'-9" | 6"     |
| 20"  | 2'-6" | 5'-0" | 2'-6" | 1'-9" | 6"     |
| 24"  | 4'-0" | 6'-6" | 4'-0" | 3'-3" | 6"     |
| 30"  | 4'-0" | 6'-6" | 4'-0" | 3'-3" | 6"     |
| 36"  | 5'-6" | 8'-0" | 3'-6" | 4'-5" | 6"     |
| 42"  | 5'-6" | 8'-0" | 3'-6" | 4'-5" | 6"     |

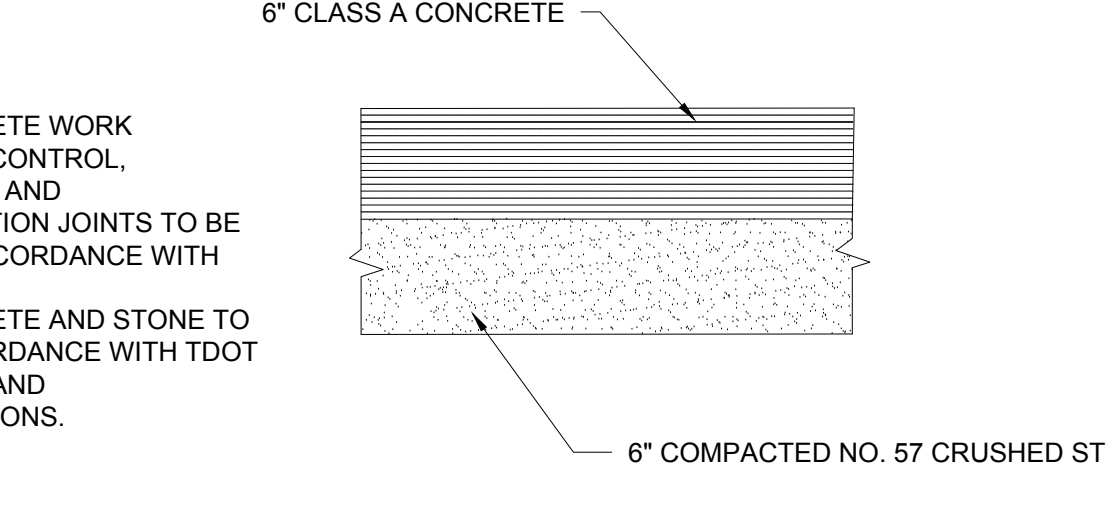
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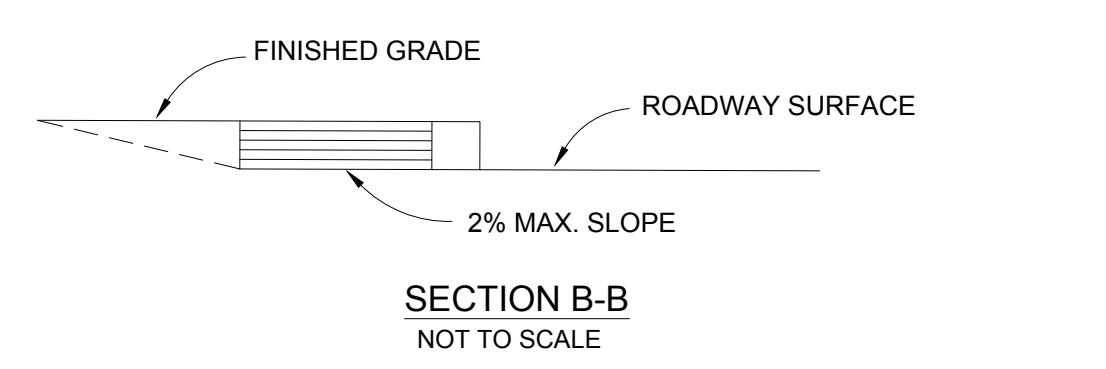
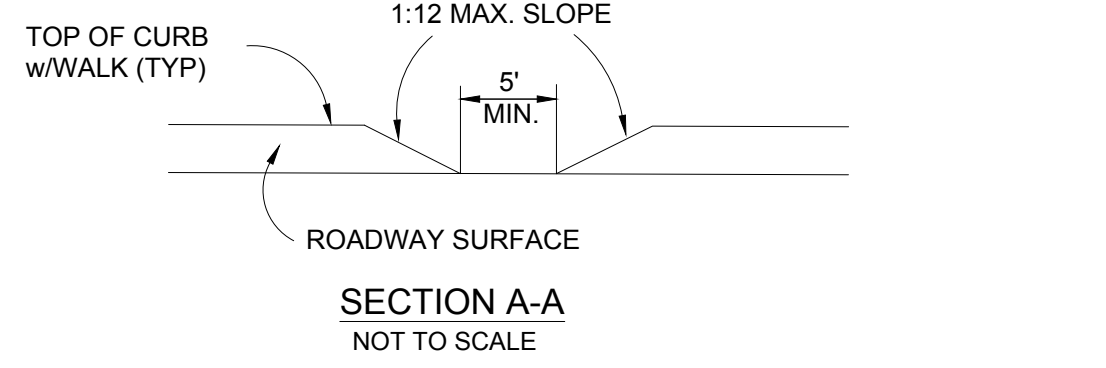
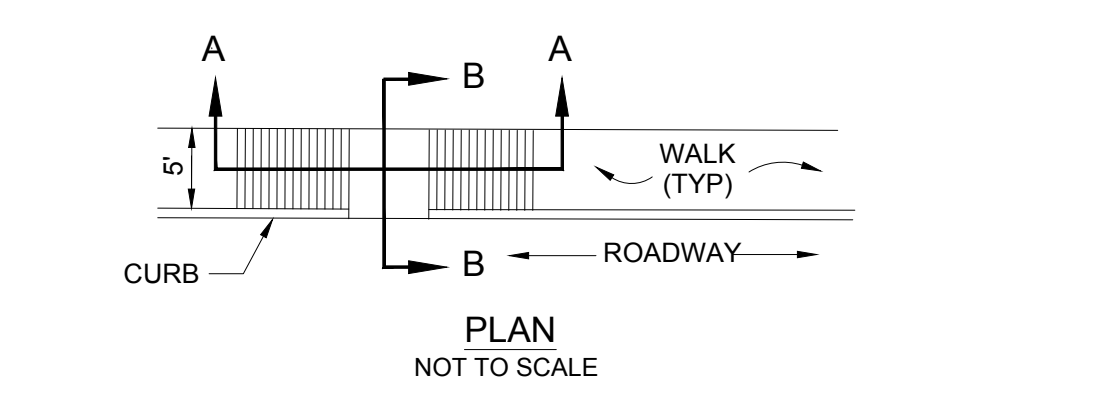
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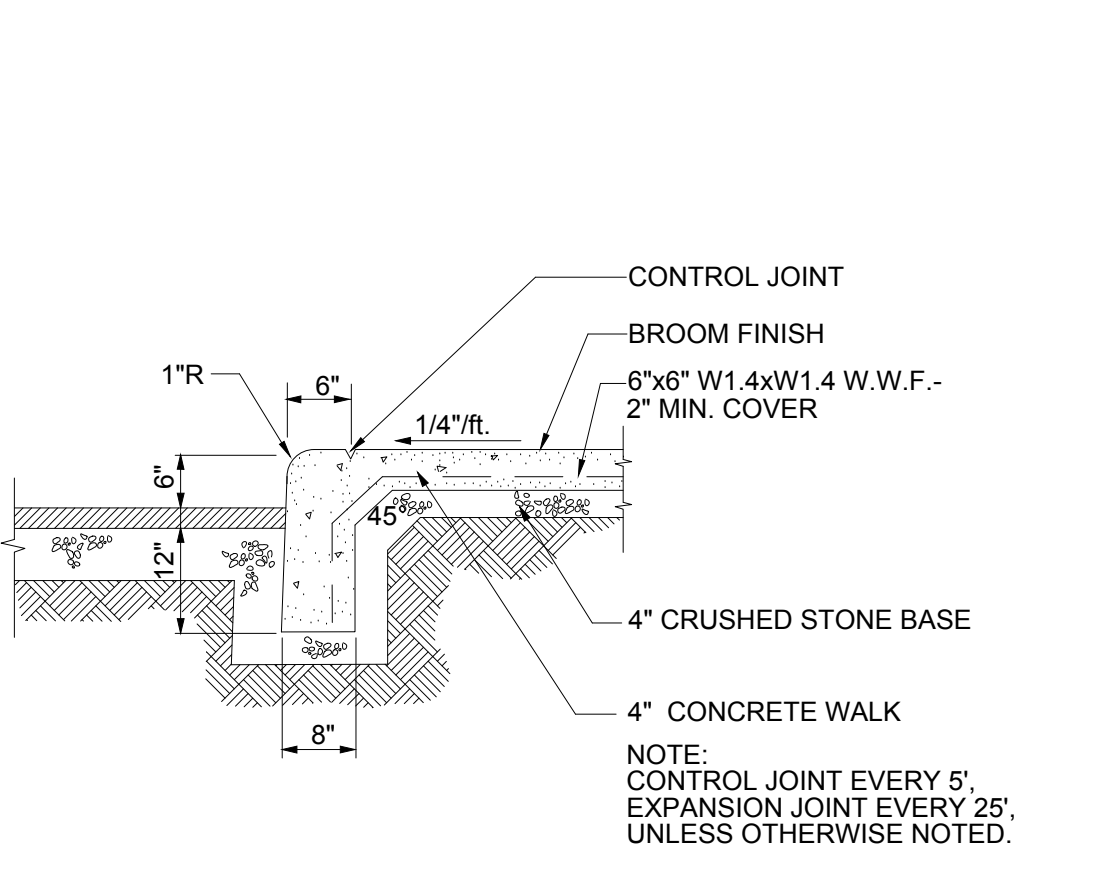
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**CONCRETE PAVEMENT**  
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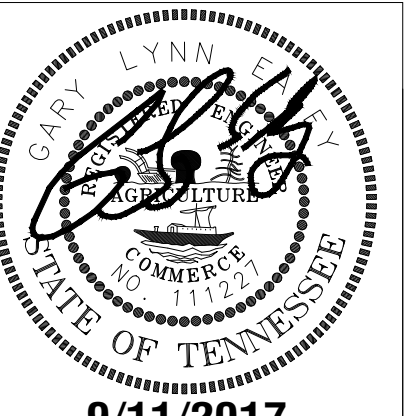


**ADA RAMP**  
NOT TO SCALE



**CONCRETE TURNDOWN SIDEWALK**  
NOT TO SCALE





9/11/2017



**BUILDING 3 FOR 31W INSULATION FACILITY**

**SITE PLAN**

BEING PARCEL 233 ON TAX MAP 125  
7434 CYCLE LANE  
MILLERSVILLE, ROBERTSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:  
- PLAN DATE: JULY 28, 2017

- A NONE
- B NONE
- C NONE
- D NONE

**SITE DETAILS**

**C5.1**

LSL 10055

