

**TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION**

Division of Water Resources

William R. Snodgrass Tennessee Tower, 312 Rosa L. Parks Avenue, 11th Floor, Nashville, Tennessee 37243  
1-888-891-8332 (TDEC)**RECEIVED**

SEP 23 2019

**Notice of Intent (NOI) for General NPDES Permit for Stormwater Discharges from Construction Activities (TNR100000)**

<b>Site or Project Name:</b> 326 Welch Road		<b>NPDES Tracking Number:</b> TNR	
Street Address or Location: 326 Welch Road Nashville, TN 37211		Construction Start Date: 11/1/19	
Site Description: Multi-Family Residential		Estimated End Date: 11/1/20	
County(ies): Davidson		Latitude (dd.ddd): 36.083692	
MS4 (if applicable): Nashville		Longitude (-dd.ddd): -86.725292	
Check box if a SWPPP is attached: <input checked="" type="checkbox"/>		Check box if a site location map is attached: <input checked="" type="checkbox"/>	
Acres Disturbed: 2.52		Total Acres: 2.31	
Check the appropriate box(s) if there are streams and/or wetlands on or adjacent to the construction site: Streams <input type="checkbox"/> Wetlands <input type="checkbox"/>			
Has a jurisdictional determination been made by the USACE or EPA identifying waters of the United States?: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
Note: if yes, attach the jurisdictional determination			
If an Aquatic Resource Alteration Permit (ARAP) has been obtained for this site, what is the permit number? NR(S)			
Receiving waters: Tributary of Sevenmile Creek			

**Site Owner/Developer (Primary Permittee):** (Provide person, company, or entity that has operational or design control over construction plans and specifications): 326 Welch PartnersFor corporate entities only, provide correct Tennessee Secretary of State (SOS) Control Number: N/A - Partnership  
(an incorrect SOS control number may delay NOI processing)

Site Owner or Developer Contact Name: (signs the certification below) Tony Harris		Title or Position: Owner	
Mailing Address: 1501 Franklin Rd		City: Brentwood	State: TN
Phone: (615) 467-6330		Fax: ( )	Zip: 37027
E-mail: tharris@avenueconstruction.com			

Optional Contact:		Title or Position:	
Mailing Address:		City:	State:
Phone: ( )		Fax: ( )	Zip:
E-mail:			

**Owner/Developer(s) Certification:** (must be signed by president, vice-president or equivalent, or ranking elected official) (Primary Permittee)

I certify under penalty of law that this document and all attachments were prepared by me, or under my direction or supervision. The submitted information is to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment. As specified in Tennessee Code Annotated Section 39-16-702(a)(4), this declaration is made under penalty of perjury.

Owner/Developer Name (print/type): Tony Harris	Signature: Tony Harris	Date: 9/18/2019
Owner/Developer Name (print/type):	Signature:	Date:

**Contractor Certification:** (must be signed by president, vice-president or equivalent, or ranking elected official) (Secondary Permittee)

I certify under penalty of law that I have reviewed this document, any attachments, and the SWPPP referenced above. Based on my inquiry of the construction site owner/developer identified above and/or my inquiry of the person directly responsible for assembling this NOI and SWPPP, I believe the information submitted is accurate. I am aware that this NOI, if approved, makes the above-described construction activity subject to NPDES permit number TNR100000, and that certain of my activities on-site are thereby regulated. I am aware that there are significant penalties, including the possibility of fine and imprisonment for knowing violations, and for failure to comply with these permit requirements. As specified in Tennessee Code Annotated Section 39-16- 702(a)(4), this declaration is made under penalty of perjury.

Contractor name, address, and SOS control number (if applicable): Avenue Construction, LLC 1501 Franklin Rd, Brentwood, TN	Signature: Tony Harris	Date: 9/18/2019
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**OFFICIAL STATE USE ONLY**

Received Date: 9-18-19	Reviewer:	Field Office: 04	Permit Tracking Number: TNR 243745	Exceptional TN Water:
Fee(s): 250.	T & E Aquatic Flora/Fauna:	SOS Corporate Status:	Waters with Unavailable Parameters:	Notice of Coverage Date:

**DEWEY ENGINEERING**

2925 BERRY HILL DR.  
NASHVILLE, TN 37204

2101

87-383/641

PAY  
TO THE  
ORDER OF

State of Tennessee

DATE

9/18/19

CHECK ARMOR

two hundred fifty and  $\frac{00}{100}$

\$ 250.00



FIFTH THIRD BANK

DOLLARS

Photo  
Safe  
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Details on back

FOR 326 Welch Road- NOI Submittal Fee

Milo

MP



**Lonna Justus**

NASHVILLE ENVIRONMENTAL  
FIELD OFFICE  
RECEIVED

SEP 19 2019

**From:** Shawley Ghafoor <[sghafoor@dewey-engineering.com](mailto:sghafoor@dewey-engineering.com)>  
**Sent:** Thursday, September 19, 2019 3:01 PM  
**To:** DWR NEFO  
**Cc:** [tharris@avenueconstruction.com](mailto:tharris@avenueconstruction.com); Michael Dewey; Nicholas Goodridge  
**Subject:** [EXTERNAL] RE: NOI Application & SWPPP - 326 Welch Road

TENNESSEE DEPT OF  
ENVIRONMENT & CONSERVATION

\*\*\* This is an EXTERNAL email. Please exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email - STS-Security. \*\*\*

- Tony Harris
- Eric Baurle
- Craig Freiberg

Thank you!

**From:** DWR NEFO [<mailto:DWR.NEFO@tn.gov>]  
**Sent:** Thursday, September 19, 2019 2:21 PM  
**To:** Shawley Ghafoor <[sghafoor@dewey-engineering.com](mailto:sghafoor@dewey-engineering.com)>  
**Cc:** [tharris@avenueconstruction.com](mailto:tharris@avenueconstruction.com); Michael Dewey <[mdewey@dewey-engineering.com](mailto:mdewey@dewey-engineering.com)>  
**Subject:** RE: NOI Application & SWPPP - 326 Welch Road

Shawley, please provide a list of all owning partner names for 326 Welch Partners, to [dwr.nefo@tn.gov](mailto:dwr.nefo@tn.gov).

Thank you,



*Lonna Justus, CPS | Admin. Services Assistant 2*

Division of Water Resources  
Nashville Environmental Field Office  
711 R.S. Gass Blvd.  
Nashville, TN 37243  
615-687-7068  
[dwr.nefo@tn.gov](mailto:dwr.nefo@tn.gov)

We encourage electronic submittals!

We value your feedback! Please complete our [customer satisfaction survey](#).

**From:** Shawley Ghafoor [<mailto:sghafoor@dewey-engineering.com>]  
**Sent:** Wednesday, September 18, 2019 3:40 PM  
**To:** DWR NEFO  
**Cc:** Michael Dewey; Nicholas Goodridge  
**Subject:** [EXTERNAL] NOI Application & SWPPP - 326 Welch Road

# STORM WATER POLLUTION PREVENTION PLAN

*(326 Welch Road)*

## A. SITE DESCRIPTION

1. The subject development is located on Welch Road off of Travis Drive, in the City of Nashville, TN, further defined by Tax Map 133-15, Parcel 106. The overall property is 2.31 acres and has an existing paved parking lot and building. The purpose of this Storm Water Pollution Prevention Plan and Notice of Intent is to obtain permitting to grade a portion of this development and right of way, which will disturb approximately 2.52 acres.

Upon completion of the infrastructure for this development, a multi-family residential building will be constructed. All erosion prevention measures have been designed to handle the runoff associated with a 5-year 24 hour storm event for the Nashville, TN area (approximately 4.5").

**This SWPPP is to remain on site during all construction activities and located within the construction trailer or near the construction entrance with the NOC display board/mailbox.**

- a. The construction of this site and Notice of Intent is for a multi-family residential building with required infrastructure. The storm water systems have been designed to meet all State and Local requirements.
- b. The sequence of major activities that will entail the disturbance of soils within the site include the following in this order: installation of all erosion control measures, mass grading, install sewer, storm, and water infrastructure, paving, and final stabilization. Please see Section 2 for a more detailed sequence of events for infrastructure.
- c. The total area of coverage requested is 2.52 acres.
- d. The existing topography within this site is moderate for each outfall, ranging from 1-3%. Any proposed grading that results in a 3:1 slope is to be stabilized using erosion control matting, as shown on the plans attached to this SWPPP.
- e. A copy of the NRCS Soil Survey maps for this area was utilized to determine the soil type of TuC, classified as type 'C' soil.
- f. The runoff coefficient (c) after construction is complete will be approximately 0.70 (based on the Rational Method for determining peak discharge,  $Q=CiA$  where c is the runoff coefficient). The site presently consists of primarily grass with a single family houses and driveways. Geographically, this site is located at 326 Welch Road.
- g. Please refer to the Construction Plans for this development for erosion prevention and sediment control measures proposed. The Construction Plans also outline the proposed grading activities, in which the area to be disturbed is shown by solid contours, and the dashed and/or shaded contours represent existing ground and areas to remain undisturbed.
- h. There will be no discharge associated with industrial activity other than construction storm water that originates on site as permitted.

- i. No Existing Aquatic Resource Alteration Permits is filed.
- j. No wetlands exist near proposed grading areas for this project.
- k. The receiving water for this site is a tributary of Sevenmile Creek, and is listed as an impaired stream under the TDEC 2014 303(d) List.
- l. No stream buffers have been utilized in this development.
- m. There will be no other uses applied to this permit.
- n. As stated previously within this document, this portion of the project will disturb approximately 2.52 acres and will not exceed 5 acres of total disturbance.
- o. The limits of coverage being compiled into this individual SWPPP are shown on the attached exhibits.

2. Construction shall proceed in the following manner:

Infrastructure

- a. Install stabilized construction entrance.
- b. Prepare temporary parking and storage area.
- c. Construct the silt fences, erosion eels (revise as construction progresses).
- d. Clear, grub and grade the site.
- e. Temporarily seed denuded areas.
- f. Prepare site for paving and install utilities.
- g. Install storm drainage and pave site
- h. Complete final grading and install permanent seeding or sod.
- i. Remove all temporary erosion and sediment control devices (only if site is stabilized). The site is stabilized when all soil-disturbing activities are completed and a uniform perennial vegetative cover with a density of 70% of the cover for unpaved areas and areas not covered by permanent structures has been employed.

*Note: The contractor shall be responsible for implementing, restoring, and/or revising the temporary sediment and erosion control measures (silt fences, straw bale barriers, temporary diversion dikes, etc.) as necessary during construction to help prevent soil erosion and storm water pollution*

- 3. The attached plans for Erosion Control associated with this development should be utilized in conjunction with this Storm Water Pollution Prevention Plan. All drainage patterns, areas of soil disturbance, structural controls, and nonstructural controls will be shown therein. All measures shown on the Initial Erosion Control Plan shall be in place and inspected prior to the issuance of the grading permit.
- 4. The runoff from the site will be collected by storm water infrastructure. The runoff will be routed through a bioretention area. The green infrastructure practices provide pre-post development runoff measures for the 2-100 year storm event.

## B. CONTROLS

### 1. Erosion and Sediment Controls

a. *Stabilization Practices.* The vegetation within the scope of the project site development will be removed with the exception of those trees to remain. The areas in which no disturbance shall be allowed are shown on the Grading and Erosion Control Plan. When deficient soil is encountered, soil undercutting will be required in those areas as recommended by the geotechnical report.

1. Where the initiation of stabilization measures by the 14<sup>th</sup> day after the construction activity temporarily or permanently ceases is precluded by snow cover, stabilization measures shall be initiated as soon as practicable thereafter.
2. Where construction activity will resume on a portion of the site within 14 days from when activities ceased, then stabilization measures do not have to be initiated on that portion of the site by the 14<sup>th</sup> day after construction activity temporarily ceased.
3. Runoff from the topsoil storage areas within the scope of this project shall be directed to the proposed sediment basins via diversion swales. Temporary seeding will be required in those areas that consist of disturbed soils that have remained dormant for periods of more than 14 days.

b. *Structural Practices.*

1. *Silt Fence.* Silt fences shall be placed and “constructed in accordance with the Erosion Control Plans, see attached sheet.
2. *Ditch Check Dams.* Ditch check dams shall be placed and constructed in accordance with the Erosion Control Plans, see attached sheet.
3. *Inlet Protection.* Inlet sediment barriers shall be installed at storm water inlets in accordance with the Erosion Control Plans, see attached sheet. These inlet protection devices shall be implemented as soon as the storm water inlets are constructed.
4. *Rock Outlet Protection.* Hand placed rip-rap pads shall be provided at discharge points in accordance with the Erosion Control Plans, see attached sheet. These riprap pads shall be placed as soon as practical.
5. *Construction Entrance.* Construction entrances should be placed and constructed in accordance with Erosion Control Plans. See attached sheet.

## 2. Storm Water Management

- a. Off-site runoff basically continues to flow in its pre-developed state via natural contour. Silt fences have been placed to accommodate runoff associated with a 5-year 24 hour storm event for the Nashville, TN area (approximately 4.5”).
- b. Soil Stabilization will be accomplished by the use of seeding in the appropriate areas, as specified. Temporary seeding will be required in those areas that consist of disturbed soils that have remained dormant for periods of more than 14 days.  
As a general rule, permanent seeding will be performed within 14 days after the final grade on an area has been established. If disturbed areas on-site are to remain dormant for periods greater than six months in duration, the contractor will apply permanent soil stabilization. An allowance in the time schedule will be made for snow cover during periods of construction downtime. Seeding will be performed by hydro-seeding, by hand, or by a mechanical broadcasting method
- c. The areas to be seeded will be uniform and will conform to the finished grade and cross Section shown in the plans for this project or as otherwise designated. Owner’s representative will perform minor shaping of uneven and rough areas outside the graded section as directed in order to provide for more effective erosion control and for ease of subsequent earth moving operations.
- d. The seed bed (including cut slopes) will be loosened to a minimum depth of 3 inches before agricultural lime, fertilizer or seed is applied. The areas to be seeded will be cleared of stones larger than 2.5 inches in dimension, roots, and other debris.

## 3. Other Controls

- a. All contractors and subcontractor affiliated with the construction project shall abide by federal, state (Tennessee), and local (Davidson County) requirements for construction, waste disposal, sanitary sewer, and septic system regulations.
- b. Providing a construction entrance as detailed on the Erosion Control Plan shall minimize off-site vehicle tracking of sediments. No access for construction ingress or egress shall be allowed except for the construction entrance shown on the Erosion Control Plan.
- c. *Temporary Parking and Storage.* The temporary parking and storage areas shall be located as determined by developer’s construction manager. The temporary parking and storage area shall also be used as the equipment maintenance area, equipment cleaning area, employee break area and area for locating portable facilities, office trailers and toilet facilities.

- d. *Dust Control.* Dust control on the site shall be minimized by sprinkling water on dry area of the site. The use of motor oils and other petroleum based or toxic liquids for dust suppression operations are prohibited.
- e. *Construction Waste.* All construction waste and trash (paper, plastic, wood, scrap metals, rubber, etc.) shall be collected and stored in containers with lids or covers that can be placed over the container prior to rainfall. This waste shall be disposed of according to state and local solid waste management regulations.
- f. *Hazardous Waste.* All hazardous waste (paints, acids for cleaning masonry surfaces, cleaning solvents, concrete curing compounds and additives, etc.) shall be disposed of according to local, state and federal regulations.
- g. *Sanitary Waste.* Sanitary waste that is generated on the site shall be disposed of in accordance with local and state regulations.
- h. *Concrete Truck Waste.* Excess concrete and wash water shall be disposed of in a manner that prevents contact between these materials and storm water that is discharged from the site.
- i. *Vehicle and Equipment Cleaning.* Wash water generated from vehicle and equipment cleaning shall be disposed of in a manner that prevents contact between these materials and storm water that is discharged from the site.

## C. MAINTENANCE

- 1. All measures stated in this Storm Water Pollution Prevention Plan and on the Erosion Control Plans for the prevention of storm water pollution and erosion control shall be maintained in fully functional condition until the final stabilization of the site. All erosion and sedimentation control measures shall be cleaned and repaired in accordance with the following, see attached sheets for construction details.
  - a. The erosion eels shall be fixed or replaced if they show signs of undermining or deterioration.
  - b. All seeded areas shall be checked regularly to see that a good stand of grass is maintained. Areas should be reseeded and fertilized as needed to provide a good stand of grass for erosion control.
  - c. Silt fences shall be repaired to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-third to one-half the height of the silt fence.



- d. The construction entrances shall be maintained in a condition, which will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing as conditions demand.
- e. The temporary parking and storage area shall be kept in good condition, suitable for parking and storage. This may require periodic top dressing as conditions demand.

#### **D. MATERIAL MANAGEMENT**

1. *Petroleum Products:* All on-site vehicles shall be monitored for leaks and receive regular preventative maintenance to reduce the chance of leakage. Petroleum products (oils, gasoline, lubricates, asphalt substances, etc.) shall be stored in tightly sealed containers which are clearly labeled. Any asphalt substances used on-site will be applied according to the manufacturer's recommendations.
2. *Paints:* All containers shall be tightly sealed and stored when not required for use. Excess paint shall not be discharged to the storm sewer system but will be properly disposed of according to manufacturer's instructions or state and local requirements.
3. *Fertilizers:* Fertilizers used shall be applied only in the minimum amounts recommended by the manufacturer. Once applied, fertilizer shall be worked into the soil (4 to 6 inches) to limit exposure to storm water. Fertilizers shall be stored in a covered area.
4. *Hazardous Products:* Products shall be kept in original containers unless they are not resealable. Original labels and material safety data shall be retained (the labels contain important product information). If surplus products must be disposed of, local, state and federal requirement shall be followed.

#### **E. SPILL CONTROL PRACTICES**

1. Materials shall be tightly sealed in containers that are clearly labeled and shall be neatly and securely stacked.
2. Materials and equipment necessary for spill cleanups shall be kept in the material storage area on-site.
3. All spills shall be cleaned up immediately after discovery.
4. The spill area shall be kept well ventilated and personnel shall wear appropriate protective clothing to prevent injury from contact with a hazardous substance.
5. Spills of toxic hazardous materials shall be reported to the appropriate local, state, and federal government agencies as soon as possible, regardless of the size.
6. Contaminated materials shall be disposed of according to local, state, and federal requirements.
7. One person shall be selected to be the spill prevention and cleanup coordinator.

8. The designated field supervisor will contact the appropriate authorities for notification of a spill related incident. The following list are the authorities as related to this project:

326 Welch Partners (Tony Harris) Owner	(615) 429-1273
Tennessee Department of Environment and Conservation	(615) 532-0625
National Response Center	800-424-8802
Tennessee Emergency Management Agency Non-emergencies	800-262-3300 800-262-3400

Spill of toxic, hazardous, or petroleum-based materials shall be reported immediately to the DPC&E and the local Fire Department.

The Developer or his designee will maintain a map outlining the route to the hospital in case of a spill related injury. This map will be posted at each on-site office trailer. A first aid kit will also be maintained at the office trailer located on the project site. The Contractor will be responsible for ensuring that the kit is complete at all times.

The Developer and his Contractor shall follow the reporting guidelines stated in the state guidelines, if the spill consists of a hazardous or oily substance. Reporting will be in accordance to the provisions stated under 40 CFR Parts 110, 117 and 302.

#### **F. GOOD HOUSEKEEPING**

1. The following good housekeeping practices shall be followed on-site during the construction project.
  - a. Neat and orderly storage of any chemicals, fertilizers, fuels, etc., that are being stored on the site.
  - b. Regular garbage, rubbish, construction waste and sanitary waste disposal.
  - c. Prompt cleanup of any spills that have occurred.
  - d. Cleanup of sediment that has been deposited off of the site by vehicle tracking, wind, and storm water.

#### **G. INSPECTIONS**

1. Qualified personnel (provided by the contractor) shall inspect all erosion, sedimentation and storm water pollution devices stated in this Storm Water Pollution Prevention Plan and on the Erosion Control Plans at least twice every seven calendar days (at least 72 hours apart). Disturbed areas and areas used for material storage that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the drainage systems. Erosion and sediment

control measures identified in the Storm Water Pollution Prevention Plan and the Erosion Control Plans shall be observed to ensure that they are operating correctly. Discharge locations shall be inspected to ascertain whether the erosion and sedimentation control measures are effective in preventing significant impacts to receiving waters.

Based on the results of the inspections, the erosion and sedimentation control measures shall be revised or modified as appropriate, but in no case shall it take more than seven calendar days following the inspection to revise or modify the erosion and sediment control measures.

#### **H. NON-STORM WATER DISCHARGES**

1. Anticipated non-storm water discharges on the construction site may include the following:
  - a. *Waterline flushing from the newly installed waterlines.* Silt fences shall be used to collect sediment from water that is flushed from new waterlines.
  - b. *Discharge from fire fighting activities.* Any materials from fire fighting activities that may pollute the storm water shall be disposed of in a proper manner.
  - c. *Water Discharge from dust control.* Silt fences shall be used to collect sediment from discharge waters associated with dust control.

#### **I. APPROVED STATE OR LOCAL PLANS**

1. To the best knowledge of all parties involved with implementation of this Storm Water Pollution Prevention Plan, all measures and consideration specified in this plan meet the requirements of the Tennessee Department of Environment & Conservation NPDES permit TNR10-0000 and Davidson County.

This Plan was prepared in accordance with the Tennessee Dept. of Environment & Conservation NPDES Permit No. TNR10-0000 and the EPA Storm Water Management for Construction Activities.

**J. SIGNATURE REQUIREMENTS**

1. All reports and certifications shall be signed in accordance with part IV.B of the NPDES Permit TNR10-0000.

**K. Tennessee Dept. of Env. & Conservation NPDES STORM WATER PERMIT TNR10-0000**

1. The Tennessee Dept. of Environment & Conservation NPDES Storm Water Permit TNR10-0000, Appendix F, is considered part of this Storm Water Pollution Prevention Plan and shall be used as a reference and a guide to insure that all requirements, conditions, limitations and responsibilities are met.

**L. CONTRACTOR ASSIGNMENT**

1. This plan will be modified to include the assignment of contractors and subcontractors to specific measures that are outlined herein.
2. All contractors and subcontractors will be required to sign a copy of the following certification statement before conducting any professional service at the site identified in this plan:

“I certify under penalty of law that I understand the terms and conditions of the general National Pollution Discharge Elimination System (NPDES) permit that authorizes the storm water discharges associated with industrial activity from the construction site as part of this certification.”

The preceding contractor / subcontractor certification must include the name and title of the person providing the signature; the name; address and telephone numbers of the contracting firm; the address; (or other identifying description) of the site; and the date the certification is made. Any signature affixed to this plan, or related documents, must be accompanied by the proper certification. The preceding contractor / subcontractor certification is part of permit number TNR10-0000, and is included as a part of this Storm Water Pollution Prevention Plan to serve as record only.

**M. SIGNATORY REQUIREMENTS**

The Signatory Requirements for all documents related to the permit number TNR10-0000 are as follows:

All Notices of Intent, Storm Water Pollution Prevention Plans, certifications or information either submitted to the Tennessee Dept. of Environment & Conservation or the operator of a large or medium municipal separate storm sewer system, or that this permit requires to be maintained by the permittee, shall be signed in accordance with the following:

*Identity of signatories of operation permits applications.* The person who signs the application for an operation permit shall be:

1. *Corporations.* In the case of a corporation, a responsible corporate officer, which is one of the following:
  - a. A president, secretary, treasurer, or vice-president of the corporation in charge of a principal business function, or any other person who performs similar policy or decision-making functions for the corporation; or
  - b. The manager or one or more manufacturing, production, or operating facilities employing more than 250 persons or having gross annual sales or expenditures exceeding \$25 million (in second quarter 1980 dollars), if authority to sign documents has been assigned or delegated to the management in accordance with corporate procedures.
2. *Partnerships.* In the case of a sole partnership, a general partner.
3. *Sole proprietorships.* In the case of a sole proprietorship, the proprietor.
4. *Public Facilities.* In the case of a municipal, state, or other public facility, by either the principal executive officer, or the ranking elected official. A principal executive officer of a Federal Agency includes:
  - a. The chief executive officer of the agency; or
  - b. A senior executive officer having responsibility for the overall operations of a principal geographic unit of the agency.
5. *Storm water discharge associated with industrial activity from construction activity.* In the case of a storm water discharge associated with industrial activity from construction, either the owner of the site or general contractor.

The person who signs the NPDES reports shall be the same, except that in the case of a corporation, or a public body, monitoring reports required under the terms of the permit may be submitted by the person who is responsible for the overall operation of the facility from which the discharge originated. The preceding signatory requirements are a part of permit number TNR10-000, and are included as part of this Storm Water Pollution Prevention Plan to serve as record only.

#### N. **AUTHORIZATION**

All reports required by the permit and other information requested by the Director of the Tennessee Dept. of Environment & Conservation shall be signed by a person described above or by a duly authorized representative of that person. A person is a duly authorized representative only if:

1. The authorization is made in writing by a person described above and submitted to the Director;
2. The authorization specifies either an individual or a person having responsibility for the overall operation on the regulated facility or activity, such as the position of plant manager, operator of a well or well field, superintendent, or position or



equivalent responsibility, or position or equivalent responsibility for environmental matters for the company. (A duly authorized representative may thus be either a named individual or any individual occupying a named position); and

3. Changes to Authorization. If an authorization under this part is no longer accurate because a different individual or position has responsibility for the overall operation of the facility, a new authorization satisfying the above requirement must be submitted to the Director prior to or together with any reports, information, or applications to be signed by an authorized representative.

The preceding authorization requirements are a part of permit number TNR10-0000, and are included as a part of this Storm Water Pollution Prevention Plan to serve as a record only.

#### **O. SIGNATURE CERTIFICATION**

1. *Certification.* Any person signing documents shall make the following certification:

“I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the systems, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for violations.”

The preceding signature certification is a part of permit number TNR10-0000, and is included as part of this Storm Water Pollution Prevention Plan to serve as record only. Any signature affixed to this plan or related documents must be accompanied by the proper certification.

#### **P. NOTICE OF TERMINATION**

1. After final stabilization at the construction site, the contractor shall submit a Notice of Termination to the Department. This notice shall include the name of the owner that was issued the permit, and the general permit number. This notice shall also be accompanied by the following certification:

“I certify under penalty of law that disturbed soils at the identified facility have been finally stabilized and temporary erosion and sediment control measures have been removed or will be removed at an appropriate time, or that all storm water discharges associated with construction activities from the identified site that are authorized by a NPDES general permit have otherwise been eliminated. I understand that by submitting this Notice of Termination, that I am no longer authorized to discharge storm water associated with industrial activity by the general permit, and that discharging pollutants from storm water associated with industrial activity to waters of the State is unlawful under the Clean Water Act where the discharge is not authorized by a NPDES permit.”

The preceding Notice of Termination certification is a part of permit number TNR10-0000 and is included as a part of this Storm Water Pollution Prevention Plan to serve as record only. Any signature affixed to this plan or related documents must be accompanied by the proper certification.

**Q. SITE ASSESSMENT**

A Site Assessment shall be performed to verify the installation, functionality, and performance of the EPSC measures as described. The site assessment shall be performed with the inspector and include a review of the SWPPP. If necessary the SWPPP shall be revised or updated. All assessment shall be documented and kept with the SWPPP at the site. The Twice Weekly Inspection Report form information shall be included in the documentation with the site assessment. The documentation shall contain the printed name and signature of the person performing the site assessment as well as the following certification:

*“I certify under penalty of law that this report and all attachments are, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.”*

The site assessment must be performed by a licensed professional engineer or landscape architect, a Certified Professional in Erosion and Sediment Control (CPESC), or a person that successfully completed the “Level II Design Principles for Erosion Prevention and Sediment Control for Construction Sites” course.

**STORM WATER POLLUTION PREVENTION PLAN**

**326 Welch Partners, Owner**

**REPRESENTATIVE OF OWNER/DEVELOPER**

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Tony Harris  
Sign

Tony Harris  
Print

9/18/2019  
Date

**CONTRACTOR'S CERTIFICATION**

I certify under penalty of law that I have reviewed this document, any attachments, and the SWPPP referenced above. Based on my inquiry of the construction site owner/developer identified above, and/or my inquiry of the person directly responsible for assembling the Notice of Intent, I believe the information submitted is accurate. I am aware that this NOI, if approved, makes the above described construction activity subject to NPDES permit number TNR100000, and that certain of my activities on-site are thereby regulated. I am aware that there are significant penalties, including the possibility of fine and imprisonment for knowing violations, and for failure to comply with these permit requirements.

Tony Harris  
Sign

Tony Harris  
Print

9/18/2019  
Date

Unless specified otherwise the DEVELOPER / CONTRACTOR is responsible for:

1. Temporary and permanent stabilization.
2. Stabilized construction entrance, fences, dikes, and silt collection areas.

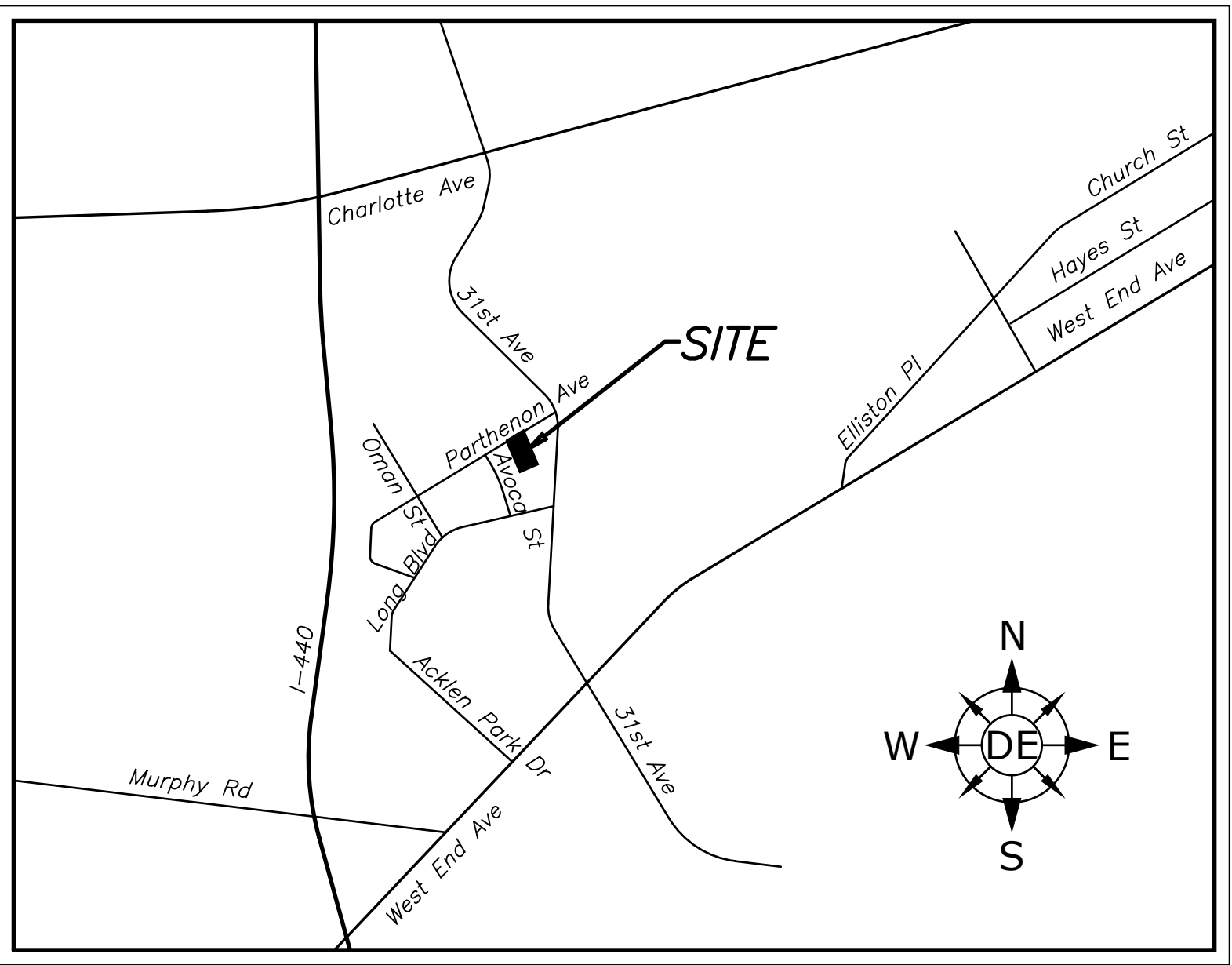
# 326 Welch Road

Being Parcel 106 on Tax Map 133-15  
Nashville, Davidson County, Tennessee

SWGR# T---

APPLICATION #:	PROJECT NAME: 326 WELCH ROAD
MAP/PARCEL #: MAP 113-15, PARCEL 106	EXAMINER:

USE	
DETERMINE THE USE	MULTI-FAMILY RESIDENTIAL
PROPERTY ZONING (OVERLAYS) - SURROUNDING ZONING	MUL-A (AIR, FLD) - RM20 (AIR, FLD), SCR (AIR, FLD, CDO), CS (AIR, CDO)
USE CHARTS:	PERMITTED
SITE CRITERIA	
MAP & PARCEL NO.	MAP 113-15, PARCEL 106
COUNCIL DISTRICT	26 - JEREMY ELROD
MINIMUM LOT SIZE-FOOTPRINT:	NA
FAR	1.00
ISR	0.90 MAX
STREET SETBACK/STREET TYPE(S)	NONE
SIDE YARD	NONE
REAR YARD	20'
HEIGHT STANDARDS-NUMBER OF FLOORS	4 STORIES AND A MAXIMUM OF 60'
PARKING AND ACCESS	
RAMP LOCATION & NUMBER	1 PROPOSED ACCESS OFF WELCH ROAD, 1 PROPOSED ACCESS OF TRAVIS DR
DISTANCE TO NEAREST EXISTING RAMP	30' EAST ALONG WELCH ROAD
DISTANCE TO INTERSECTIONS:	LOCATED AT THE INTERSECTION OF WELCH ROAD AND TRAVIS DRIVE
50' MINOR STREET 100' COLLECTOR	185' ARTERIAL STREET 250' CONTROLLED ACCESS RAMP
REQUIRED PARKING BASED ON USES	143
PARKING REDUCTION	NONE
PARKING PROVIDED	150
REQUIRED LOADING BASED ON USES	NONE
SURFACING OVER 5 SPACES 1,750 SQ. FT.	PROVIDED
SPACE SIZES, AISLE WIDTHS, ANGLE DATA	18' x 8.5' SPACES, 15' x 7.5' COMPACT SPACES 24' MIN. TURNAROUND
QUEUING LANES	NONE REQUIRED
OVER 10 SPACES 20' QUEUING AT EXIT	N/A
NUMBER OF COMPACT SPACES (%)	27% OF REQUIRED PARKING (5% TOTAL)
NUMBER OF ACCESSIBLE SPACES	6 PROVIDED
SIDEWALKS REQUIRED-INTERNAL/PUBLIC	PUBLIC SIDEWALK REQUIRED
LANDSCAPING STANDARDS	
SEE LANDSCAPE PLAN FOR DETAILS ON REQUIRED & PROPOSED LANDSCAPING MEASURES	



Vicinity Map  
N.T.S.

<b>Engineer</b> Dewey Engineering Contact: Michael Dewey, PE 2925 Berry Hill Drive Nashville, TN 37204 Phone: (615) 401-9956	<b>Flood Note</b> This Property is Not Located Within a Flood Hazard Area as Designated by "Zone X" on Firm Panel #47037C0378H. Dated April 5, 2017.
<b>Owner</b> 326 Welch Partners 8253 Rexford Court Brentwood, TN 37027 Phone: (615) 429-1273	<b>Benchmark</b> Hydrant Tag Bold Located at the Intersection of Travis Drive and Welch Road NAVD88 Elevation = 495.94

## Sheet Schedule

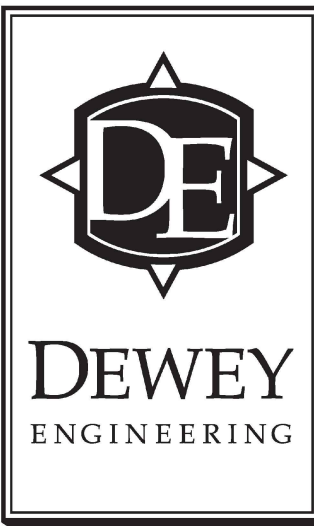
1	C0.0	Cover Sheet
2	C1.0	Existing Conditions & Initial Erosion Control Plan
3	C2.0	Overall Layout & Utilities Plan
4	C3.0	Intermediate Erosion Control Plan
5	C4.0	Grading & Drainage Plan
6	C5.0	Detail Sheet
7	L1.0	Landscape Plan
8	L1.0	Landscape Plan

Revisions:

Drawing Notes:

Date: September 6, 2019

326 Welch Road  
Tax Map 133-15, Parcel 106  
Nashville, Davidson County, Tennessee

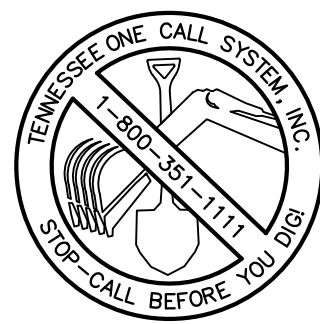


Cover  
Sheet

Job No. 18034

C0.0

1 of 8





Erosion Control & Grading Notes:

1. EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE ON THE SITE FOR NO MORE THAN 15 DAYS. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
2. ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL SHALL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER (UNLESS OTHERWISE SPECIFIED IN WRITTEN SPECIFICATIONS), 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET, AND A STRAW MULCH OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET), UNLESS OTHERWISE NOTED.
3. EROSION CONTROL BARRIER IS CALLED OUT ON THE PLANS AND IS TO COMPLY WITH THE METROPOLITAN STORMWATER MANAGEMENT MANUAL VOLUME FOUR, SECTION TCP-14.
4. DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND THE LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH INSTALLATION, FULL REPAIR WILL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATION GOVERNING SUCH WORK.
6. ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE, ASTM #1 STONE, 100 FEET LONG AND AT LEAST 8" THICK.
7. THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS (OR AS DIRECTED BY THE SOILS INVESTIGATIVE REPORT). SAID FILL MATERIAL IS TO BE FREE OF SOIL, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. SAID FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR, OR AS OTHERWISE SPECIFIED BY THE SOILS REPORT OR WRITTEN SPECIFICATIONS.
8. THE CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE METRO WATER SERVICES NPDES DEPARTMENT (880-2420) PRIOR TO COMMENCING WORK.
9. THE CONTRACTOR SHALL LOCATE AND STATE THE LAYOUT OF THE SITE IN THE FIELD FOR INSPECTION BY THE ENGINEER. THE CONTRACTOR SHALL CHECK THE GRADES AND FINAL DIMENSIONS ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION.
10. SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.
11. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES, INCLUDING WARNING SIGNS AND LIGHTS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION CAUSED BY HIMSELF, HIS SUB-CONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
13. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SHALL BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH IN THE METRO WATER SERVICES STORM WATER MANAGEMENT MANUAL. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION FOR HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE LAWS AND ORDINANCES OR REGULATIONS RELATING TO PORTIONS OF WORK WHICH HE IS TO PERFORM.
14. ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED AND CONSTRUCTION IS COMPLETE.
15. CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 & CP-13. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING RECONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMIT. LOCATIONS OF AND/OR NOTES REFERRING TO THESE BMPs SHALL BE SHOWN ON THE EPC PLAN.
16. IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN THE SERVICES OF A LICENSED GEOTECHNICAL ENGINEER PRIOR TO COMMENCING WITH CONSTRUCTION TO DETERMINE THE POTENTIAL OF THE EXISTENCE OF UNSUITABLE SOIL MATERIAL ON SITE. IF IT IS DETERMINED THAT THE SUBSURFACE IS NOT SUITABLE FOR CONSTRUCTION AND UNDERCUTTING IS REQUIRED, THE CONTRACTOR SHALL CONTACT THE OWNER AND THE ENGINEER IMMEDIATELY.
17. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCING OF ANY CONSTRUCTION ACTIVITIES LOCATED WITHIN PUBLIC RIGHT OF WAY.
18. STEEP SLOPES TO BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
19. VEHICULAR TRAFFIC SHALL BE PROHIBITED ON THE PAVED PAVEMENT UNTIL THE SITE IS STABLE TO PREVENT MUD FROM BEING DEPOSITED BY VEHICLES.
20. CONTRACTOR, ENGINEER, OR OWNERS REPRESENTATIVE SHALL NOTIFY MWS DEVELOPMENT REVIEW AT LEAST 24 HOURS PRIOR TO THE INSTALLATION OF THE PAVED LAYER TO OBSERVE THE SUB-BASE MATERIAL.
21. ALL PERIMETER AND TEMPORARY EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING GRADING.
22. SEDIMENT BASIN NOTES: THE SEDIMENT BASIN SHALL BE CONVERTED TO A BIODETENTION AREA. THE FOLLOWING ITEMS SHALL BE PERFORMED DURING CONSTRUCTION TO ENSURE THE BIODETENTION AREA FUNCTIONS PROPERLY:
  - A. THE MAXIMUM EXCAVATION DEPTH OF THE SEDIMENT BASIN SHALL BE AT LEAST 1 FOOT ABOVE THE INVERT OF THE BIODETENTION AREA.
  - B. BEFORE CONSTRUCTION OF THE BIODETENTION AREA BEGINS, THE SEDIMENT BASIN SHALL BE DEWATERED, ACCUMULATED SEDIMENT SHALL BE REMOVED, AND THE SITE DRAINING TO THE SEDIMENT BASIN SHALL BE STABILIZED.

TEMPORARY CONSTRUCTION ENTRANCE (TCP-03)

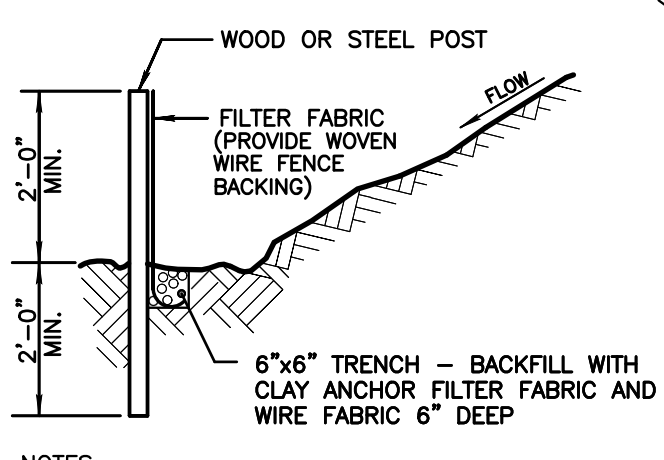
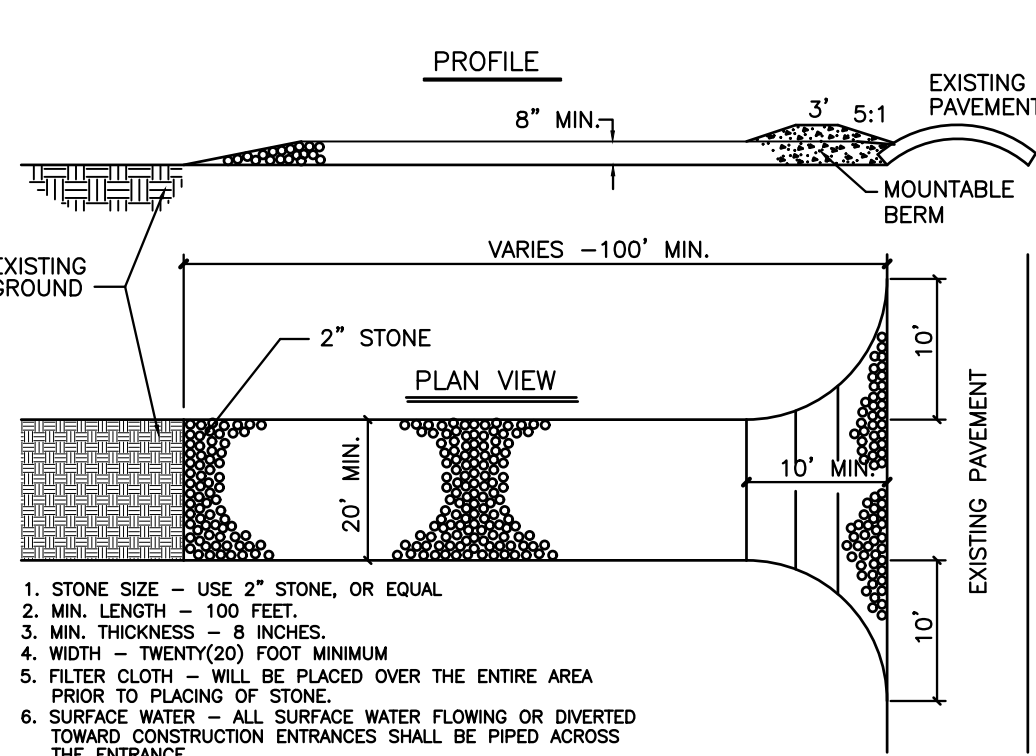
NOT TO SCALE

X - Represents Existing Trees to be Removed.

Parcel A9  
Tax Map 133-15  
O.I.C. PAGODA CONDOMINIUMS  
Instrument No. 00006111-000022  
R.O.D.C., Tennessee

Parcel 147  
Tax Map 133-15  
ATS NASHVILLE INVESTMENTS, LLC  
Instrument No. 20190530-0051309  
R.O.D.C., Tennessee

Parcel 92  
Tax Map 133-15  
ARI HOLDINGS, LLC  
Instrument No. 20171221-0130185  
R.O.D.C., Tennessee

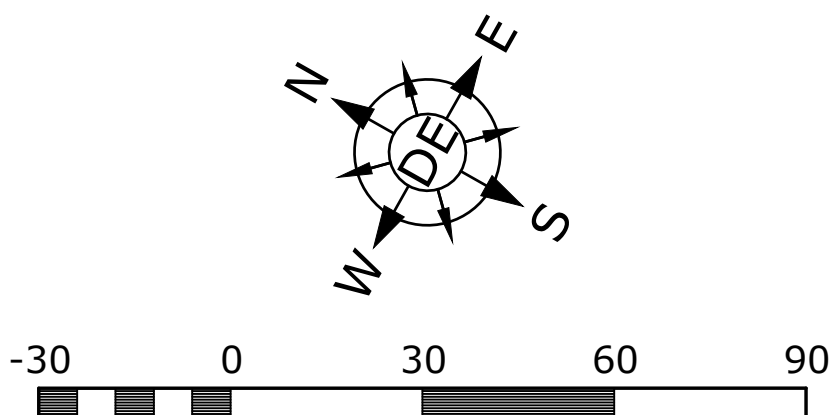


- NOTES:
1. FILTER FABRIC FENCE TO BE PLACED PRIOR TO START OF ROUGH GRADING.
  2. STEEL POSTS SHALL BE APPROVED BY OWNER PRIOR TO USE.
  3. WOOD POSTS SHALL BE 2"x 2" MIN., OAK OR SIMILAR HARDWOOD.
  4. POSTS SHALL BE SPACED AT 6' INTERVALS.
  5. FILTER FABRIC SHALL BE SECURELY BOUND TO POSTS WITH EITHER STAPLES OR WIRE TIES.
  6. FILTER FABRIC SHALL BE POLYPROPYLENE FABRIC BY CORPS OF ENGINEERS GUIDE SPEC. CW 02215, WITH EQUIVALENT OPENING SIZE (EOS) OF NO.100 SIEVE MIN., NO. 40 SIEVE MAX., AS DETERMINED MAINTENANCE NOTES.
  7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

1. INSPECT TWICE WEEKLY, 72 HOURS APART AND AFTER EACH RAINFALL.
2. REPAIR WHEREVER FENCE IS DAMAGED.
3. REMOVE SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE FENCE.
4. REMOVE SILT FENCE WHEN NO LONGER NEEDED. FILL AND COMPACT PAST HOLES AND ANCHOR TRENCH REMOVE SEDIMENT ACCUMULATION, AND GRADE.

WIRE BACKED SILT FENCE DETAIL (TCP-13)

NOT TO SCALE



Scale 1" = 30'  
Total Site Acreage: 2.31 Acres

Engineer  
Dewey Engineering  
Contact: Michael Dewey, PE  
2925 Berry Hill Drive  
Nashville, TN 37204  
Phone: (615) 401-9956

Owner  
326 Welch Partners  
8253 Rexford Court  
Brentwood, TN 37027  
Phone: (615) 429-1273

Flood Note  
This Property is Not Located Within a Flood Hazard Area as Designated by "Zone X" on Firm Panel #47037C0378H. Dated April 5, 2017.

Benchmark  
Hydrant Tag Bold Located at the Intersection of Travis Drive and Welch Road  
NAVD88 Elevation = 495.94

Date: September 6, 2019

326 Welch Road  
Tax Map 133-15, Parcel 106  
Nashville, Davidson County, Tennessee

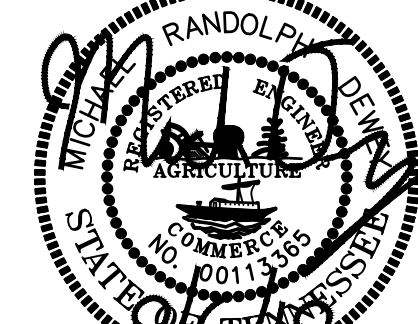
Curve Table				
Curve #	Radius	Length	Delta	Chord Direction
C1	4823.52'	123.47'	1°28'00"	N84°07'57"W
C2	30.00'	47.12'	90°00'00"	N39°51'57"W
C3	538.08'	480.01'	51°06'44"	N20°25'25"W

Michael Dewey, PE  
AS THE "CERTIFIED" EROSION CONTROL SPECIALIST FOR THIS SITE, HAVE REVIEWED AND APPROVED THE EROSION PREVENTION AND SEDIMENT CONTROL BMP'S OF THIS PLAN ON  
9/6/19  
DATE

THE PROJECT ASSOCIATED WITH THESE SUBMITTED PLANS IS COVERED UNDER TENNESSEE CONSTRUCTION GENERAL PERMIT TNR-....., THE TOTAL DISTURBED AREA IS: 2.52 ACRES. THE RECEIVING WATERS ARE: SEVENMILE CREEK.

CHECK ALL THAT APPLY: THIS SITE DISCHARGES INTO WATERS IDENTIFIED BY TDEC AS:  
☐ IMPAIRED FOR SILTATION  
☐ IMPAIRED FOR HABITAT ALTERATION  
☒ EXCEPTIONAL

Michael Dewey, PE  
SIGNATURE  
9/6/19  
DATE

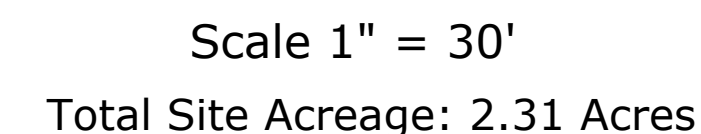


Existing Conditions & Initial Erosion Control Plan

Job No. 18034

C1.0



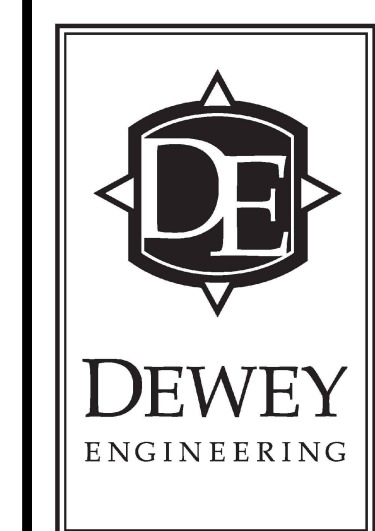


Owner  
326 Welch Partners  
8253 Rexford Court  
Brentwood, TN 37027  
Phone: (615) 429-1273

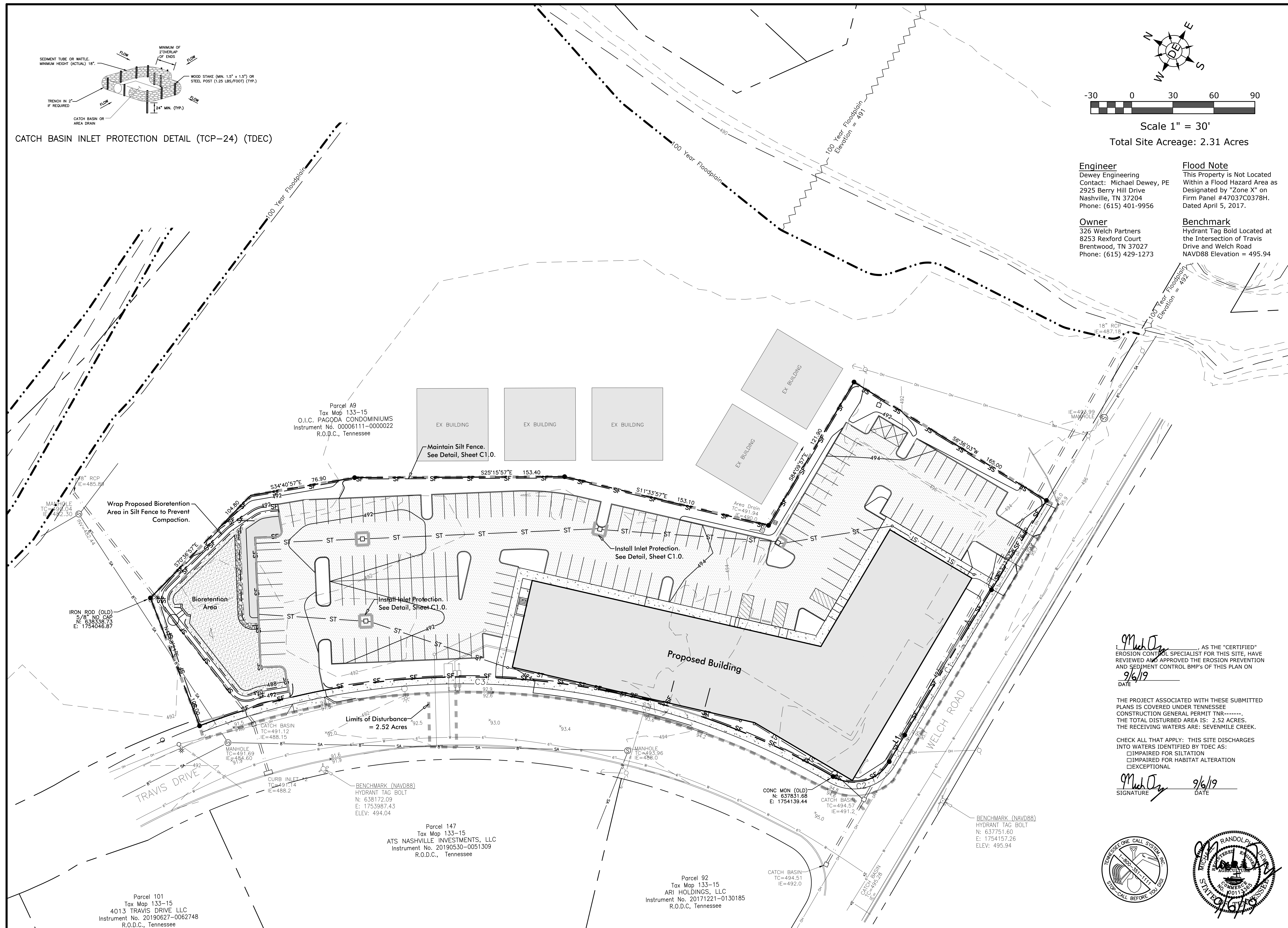
**Benchmark**  
Hydrant Tag Bold Located at  
the Intersection of Travis  
Drive and Welch Road  
NAVD88 Elevation = 495.94

Date: September 6, 2019

326 Welch Road  
Tax Map 133-15, Parcel 106  
Nashville, Davidson County, Tennessee



4 of 8





IN ACCORDANCE WITH THE METRO STORMWATER MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:

- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT & FILL IN THE FLOODPLAIN
- SINK HOLE ALTERATIONS
- BIORETENTION AREAS
- PERMEABLE PAVEMENT

THE ENGINEER SHALL VISIT WWW.NASHVILLE.GOV/STORWATER/ASBUILT.HTM FOR SUBMITTAL REQUIREMENTS.

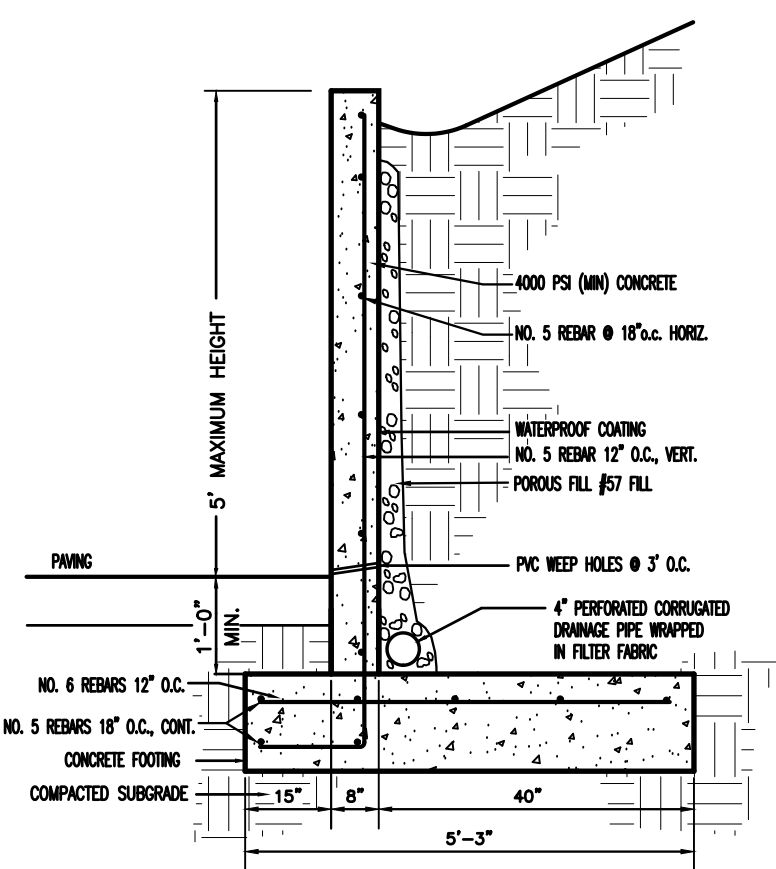
BIORETENTION NOTE: CONTRACTOR, ENGINEER OR OWNER'S REPRESENTATIVE SHALL NOTIFY MWS - DEVELOPMENT REVIEW AT LEAST 24 HOURS PRIOR TO THE INSTALLATION OF THE PLANTING SOIL FILTER BED. AT THE COMPLETION OF INSTALLATION, THE ABOVE REFERENCED PERSON WILL COLLECT ONE SAMPLE PER BIORETENTION BED FOR ANALYSIS AND CONFIRMATION OF THE SOIL CHARACTERISTICS AS DEFINED BY GIP-01, SECTION 6.6 ON PAGE 18.

\*NOTE: CONTRACTOR, ENGINEER, OR OWNERS REPRESENTATIVE SHALL NOTIFY MWS - DEVELOPMENT REVIEW AT LEAST 24 HOURS PRIOR TO THE INSTALLATION OF THE PERVIOUS LAYER TO OBSERVE THE SUB-BASE MATERIAL.

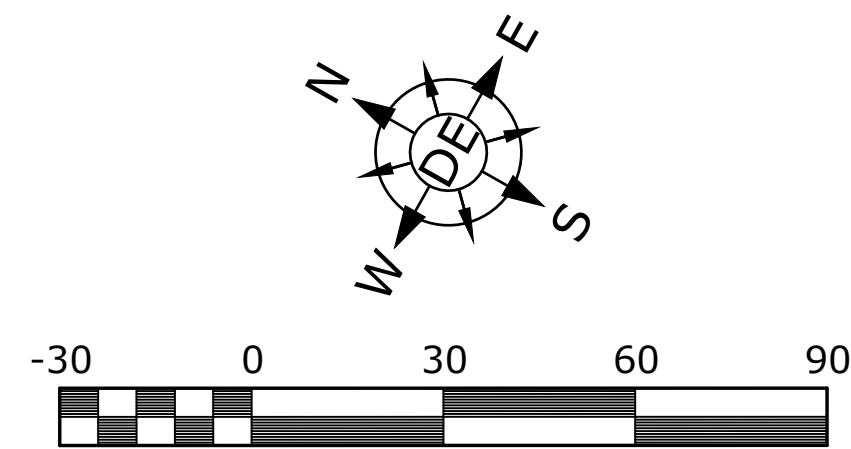
Retaining Wall 'A' Table

Section	T.O.W.	B.O.W.	Height
A1	492.9	490.0	2.9'
A2	492.7	488.0	4.7'
A3	492.8	488.0	4.8'
A4	493.0	488.0	5.0'
A5	492.9	488.0	4.9'
A6	492.9	488.0	4.9'
A7	492.5	492.0	0.5'

\* NOTE: TOW ELEVATION INCLUDES 6" TALL CURB ABOVE PARKING.



SECTION: CONCRETE RETAINING WALL



Scale 1" = 30'  
Total Site Acreage: 2.31 Acres

**Engineer**  
Dewey Engineering  
Contact: Michael Dewey, PE  
2925 Berry Hill Drive  
Nashville, TN 37204  
Phone: (615) 401-9956

**Owner**  
326 Welch Partners  
8253 Rexford Court  
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**Benchmark**  
Hydrant Tag Bold Located at the Intersection of Travis Drive and Welch Road  
NAVD88 Elevation = 495.94

Revisions:

Drawing Notes:

Date: September 6, 2019

326 Welch Road  
Tax Map 133-15, Parcel 106  
Nashville, Davidson County, Tennessee

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*Michael Dewey* 9/6/19  
SIGNATURE DATE



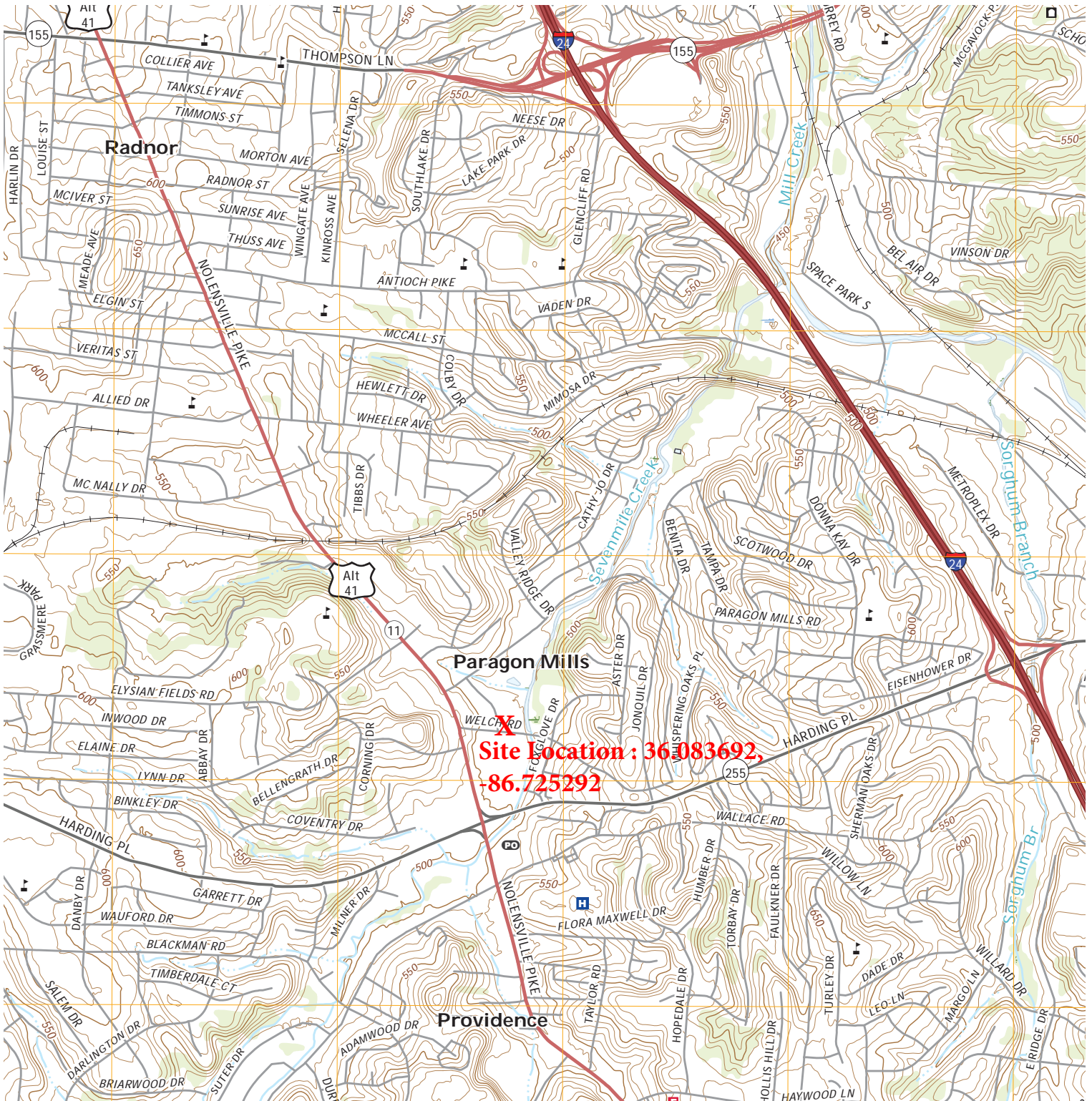
Grading & Drainage Plan

Job No. 18034

C4.0

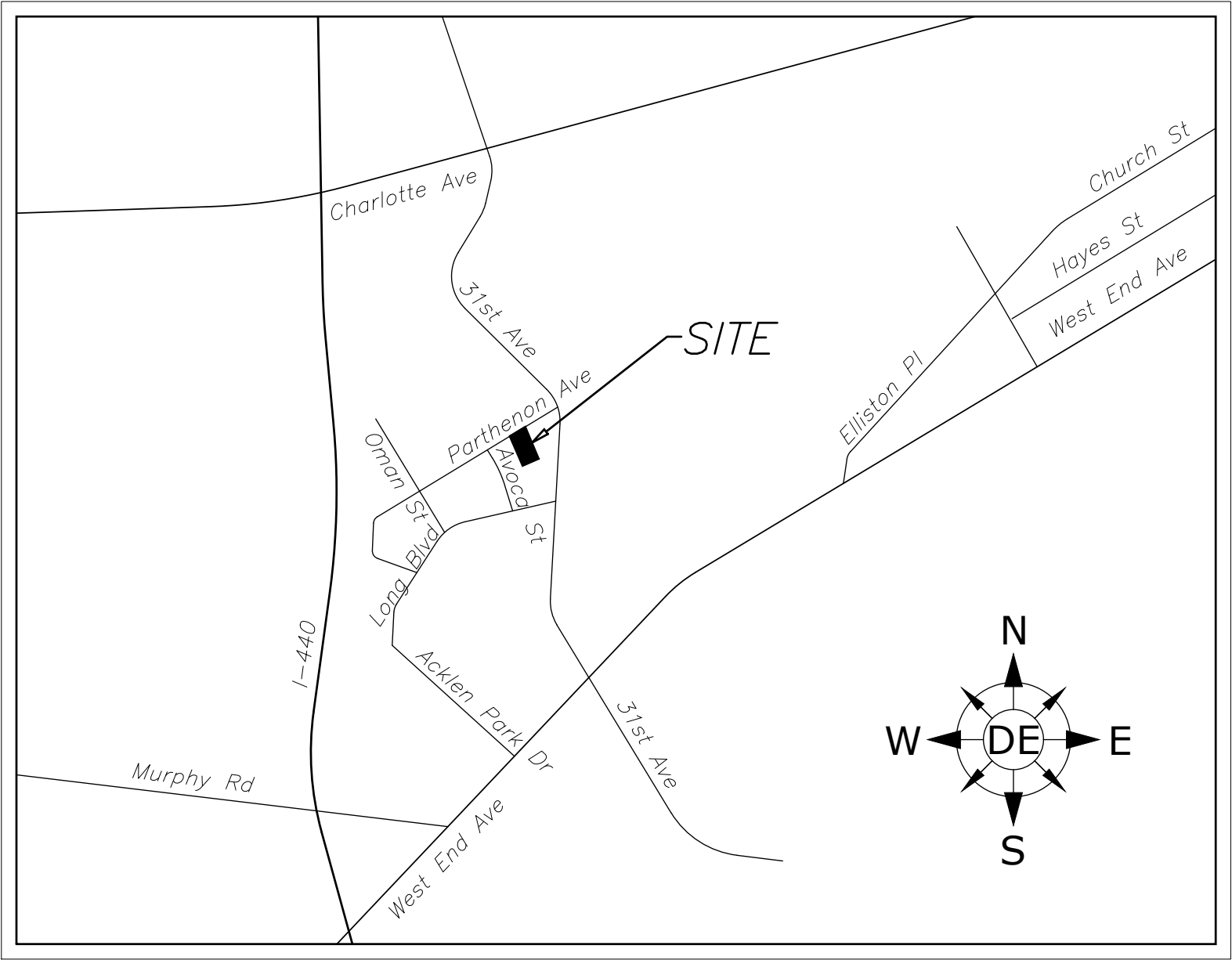


# 326 Welch Road



USGS Topo 7.5-minute Map

326 Welch Road



Vicinity Map  
N.T.S.